

**DESIGN COMMISSION  
MEETING**

**February 12, 2020  
6:00 p.m.**

**AGENDA**



*"Where Dreams Can Soar"*

*The City of Bonney Lake's Mission is to protect the community's livable identity and scenic beauty through responsible growth planning and by providing accountable, accessible and efficient local government services.*

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**Location:** Justice & Municipal Center, 9002 Main Street East, Bonney Lake.

**Design Commission Members:**

Debbie Strous-Boyd  
Thomas Kennedy  
Jamie Bendon  
David Colbeth  
Paul Webber  
Mitch Paine  
Joseph Parente

**City Staff:**

Jason Sullivan, Planning and Building Supervisor  
Nate Schildmeyer, Associate Planner  
Debbie McDonald, Design Commission Clerk

- I. Call to Order**
- II. Roll Call**
- III. Approval of Minutes**
- IV. Public Comments and Concerns**
- V. Old / Continuing Business**
  - A. PLN-2019-02354 – Sound Credit Union
- VI. New Business**
  - A. PLN-2019-02277 – Locust Avenue 4-Plex
- VII. For the Good of the Order**
  - A. Correspondence
  - B. Staff Comments
  - C. Commissioner Comments
- VIII. Adjournment**

**Next Meeting:** April 8, 2020

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**DESIGN COMMISSION  
MEETING**

**January 6, 2020  
6:00 p.m.**

**DRAFTED MINUTES**



*"Where Dreams Can Soar"*

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**Location:** Justice & Municipal Center, 9002 Main Street East, Bonney Lake.

**I. Call to Order:** The meeting was called to order at 6:00 P.M.

**II. Roll Call:** Design Commissioners in attendance were Chair Debbie Strous-Boyd, Vice-Chair Thomas Kennedy, Commissioner Jamie Bendon, Commissioner Paul Webber and Commissioner Joseph Parente

**Absent:** Commissioner David Colbeth and Commissioner Mitch Paine

**Motion was made by Commissioner Kennedy and seconded by Commissioner Bendon to excuse Commissioner Colbeth from tonight's meeting.**

**Motion Approved 5-0**

Staff members in attendance were Planning and Building Supervisor Jason Sullivan and Design Commission Clerk Debbie McDonald

**III. Election of Officers:**

Planning and Building Supervisor Sullivan opened the floor for 2020 Chair nominations.

**Motion was made by Commissioner Webber and seconded by Commissioner Bendon to elect Commissioner Strous-Boyd as the 2020 Design Commission Chair.**

**Motion Approved 5-0**

Chair Strous-Boyd opened the floor for 2020 Vice-Chair nominations.

**Motion was made by Commissioner Bendon and seconded by Commissioner Webber to elect Commissioner Kennedy as the 2020 Design Commission Chair.**

**Motion Approved 5-0**

**IV. Approval of Minutes:**

**Motion was made by Commissioner Parente and seconded by Commissioner Bendon to approve the November 13, 2019 minutes with no corrections.**

**Motion Approved 5-0**

**V. Public Comment and Concerns:** NONE

**VI. New Business:**

**A. Sound Credit Union**

No representation was in attendance to present the Sound Credit Union project.

**Motion was made by Commissioner Webber and seconded by Commissioner Bendon to move the project to February's Design Commission meeting.**

**Motion Approved 5-0**

**VII. Old/Continuing Business:**

**A. Ordinance D19-06 - Landscaping Code Update**

Planning and Building Supervisor Sullivan just wanted to check in with the Commissioners if they have any additions or corrections after presenting the update at the last meeting.

Commissioner Parente will email a list of comments and suggestions to Planning and Building Supervisor Sullivan. The email of comments will be added to the minutes.

**VII. For the Good of the Order:**

**A. Correspondence: NONE**

**B. Staff Comments:**

Planning and Building Supervisor Sullivan mentioned some possible upcoming projects.

**C. Commissioner Comments: NONE**

**VIII. Adjournment:**

**Motion was made by Commissioner Webber and seconded by Commissioner Parente to adjourn the meeting.**

**Motion Approved 5-0**

**Meeting adjourned at 6:20**

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Debbie McDonald Planning Commission Clerk

## Debbie McDonald

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**From:** Joseph Parente <mario8joe@comcast.net>  
**Sent:** Thursday, January 9, 2020 5:35 PM  
**To:** Jason Sullivan  
**Subject:** Landscape Code notes

Good Afternoon Mr. Sullivan,

I promised to send you an e-mail highlighting some of the notes I made while reviewing your Landscape Code so here they are. Overall, I felt that it was very effective and didn't really need any changes. These comments are not really necessary but nice to have suggestions. Without further ado here it is:

Should there be something about dust abatement like compost blanket, compost filter berm or sock noted if necessary  
Should also emphasize that any chemical applications done on the site should be done by a WSDA Certified Commercial Applicator

16.14.050 (consider adding but, again, these are just suggestions)

-Landscape Maintenance Plan which gives instructions to the maintenance crew so that it stays in line with the designers vision and within the needs of the site. This should inform on what the landscape will look like when fully developed. It will also inform us on how much noise, air, and chemical (should they decide to use pesticides) pollution we can expect on site.

-Perhaps emphasize low water usage devices like "Smart Irrigation Controllers" with rain shut off sensors or drip irrigation systems

-Just FYI Irrigation Association is a professional trade organization that focuses on Irrigation and smart water usage.

16.14.060 General Landscape requirements (letters correlate with sections of the document)

D) Should we define "Native Species" as historically endemic to the Pacific Northwest for clarity

16.14.070 Guidelines (pg.6)

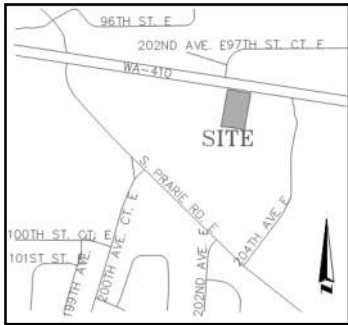

D) Perhaps suggest also to allow grass to go brown in the summer if the designer sees fit to reduce water use.

That's all I got for you. I hope this helps if you have any questions you let me know. Is it alright if I get a copy of the city's plant list if there is one? I'd like to go over it so I can be familiar with it. See you next month!

Sincerely,  
Joseph Parente

Sent from [Mail](#) for Windows 10

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PROJECT NAME <b>Sound Credit Union</b>	FILE NUMBER <b>PLN-2019-02354</b>	HEARING/MEETING DATE <b>January 8, 2020</b>			
STAFF CONTACT <b>Jason Sullivan</b>	PROPERTY OWNER <b>Sound Credit Union</b>	APPLICANT <b>Ben Warren</b>			
ADDRESS <b>20216 98th Street East</b>	TAX PARCEL(S) <b>0519036059</b>				
ZONING DESIGNATION <b>Midtown Core</b>	LAND USE DESIGNATION <b>Midtown Core</b>	SUBAREA <b>Midtown</b>			
BRIEF SUMMARY OF REQUEST <b>Approval of a design review application under Chapter 14.95 of Bonney Lake (the "City") Municipal Code (BLMC). The design review is required for the construction of an approximately 2,540 square foot banking facility along with associated on-site improvements on a 0.95 acre property.</b>					
COMPREHENSIVE PLAN CONSISTENCY <b>The proposal is consistent with the City's Comprehensive Plan policies direction that Midtown will accommodate a variety of uses including high density residential, offices, restaurants, large regional grocery stores, specialty retail stores, and regional shopping centers.</b>					
DEVELOPMENT CODE CONSISTENCY <b>The proposal development is a permitted use and is consistent with applicable development regulations provided that the the recommended conditions of approval are imposed on the project.</b>					
RECOMMENDED ACTION <b>Approve the requested design review application subject to the conditions of approval contained in the staff report.</b>					
ALTERNATIVE ACTIONS <ol style="list-style-type: none"> <li><b>1. Recommend approval of the design review application with additional conditions of approval.</b></li> <li><b>2. Recommend approval of the design review application with modifications to the conditions of approval contained in the staff report.</b></li> <li><b>3. Recommend approval without conditions.</b></li> <li><b>4. Recommend denial of the design review application.</b></li> <li><b>5. Deferred the item to a future date to request additional information.</b></li> </ol>					
PLANNING AND BUILDING SUPERVISOR APPROVAL  <b>Jason Sullivan</b> Date <b>December 20, 2019</b>					
ATTACHMENTS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%; vertical-align: top;"> <ol style="list-style-type: none"> <li><b>1. Landscaping Plan</b></li> <li><b>2. Building Elevations</b></li> <li><b>3. Photometric Plan</b></li> <li><b>4. Project Narrative</b></li> </ol> </td> <td style="width: 33%; vertical-align: top;"> <ol style="list-style-type: none"> <li><b>5. Notice of Adoption of Existing Environmental Documents</b></li> <li><b>6. Bonney Lake Critical Area Report Decision</b></li> </ol> </td> <td style="width: 33%;"></td> </tr> </table>			<ol style="list-style-type: none"> <li><b>1. Landscaping Plan</b></li> <li><b>2. Building Elevations</b></li> <li><b>3. Photometric Plan</b></li> <li><b>4. Project Narrative</b></li> </ol>	<ol style="list-style-type: none"> <li><b>5. Notice of Adoption of Existing Environmental Documents</b></li> <li><b>6. Bonney Lake Critical Area Report Decision</b></li> </ol>	
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## I. BACKGROUND

### A. Site Characteristics

The site is a vacant level graded undeveloped 0.95 acre outlot with frontage on 98th Street East. The site plan in Figure 1 mistakenly identifies 98<sup>th</sup> Street East as 100<sup>th</sup> Street East.

### B. Surrounding Properties

The proposed project is located within the City’s retail core. Below is a table showing the zoning and land use designation of the surrounding properties.

Direction	Land Use Designation	Zoning	Existing Use
North	Residential: High Density	R-2 Medium-Density Residential	Residential
South	Commercial Core	Midtown Core	Vacant
West	Commercial Core	Midtown Core	Retail
East	Commercial Core	Midtown Core	Retail

### C. State Environmental Policy Act (SEPA)

The Public Services Director acting as the SEPA Responsible Official determined that the Draft Environmental Impact Statement (DEIS) and the Final Environmental Impact Statement (FEIS) for the WSU Site Project met the City’s environmental review needs for the current proposal and subsequently adopted these documents to comply with the requirements of SEPA pursuant to WAC 197-11-630(2)<sup>1</sup>

### D. Shoreline Code

This proposal is not within the Shoreline Jurisdiction.

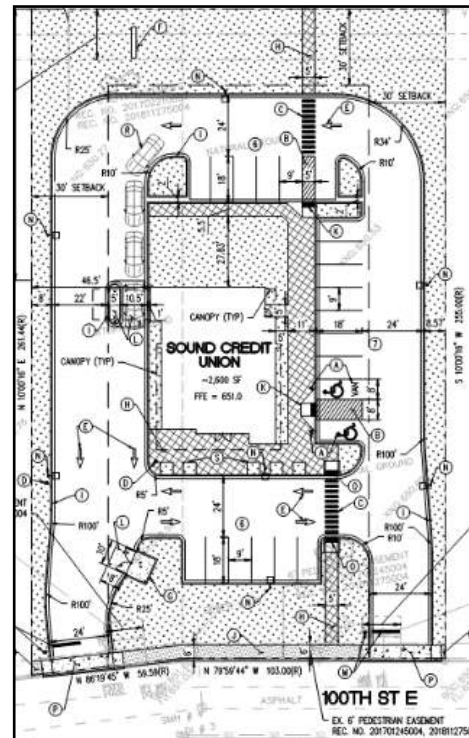


Figure 1: Site Plan

<sup>1</sup> See City of Bonney Lake Notice of Adoption of Existing Environmental Documents dated December 20, 2019 (Attachment 5)

### **E. Critical Areas Code**

The proposed project is located within the ten (10) year time-of-travel zone for the City's water system wells, which is regulated as a Critical Aquifer Recharge Area. Therefore, a Level 1 – Hydrogeologic Assessment consistent with the requirements of BLMC 16.24.040 was required to be submitted as the development did not meet one of the exemptions provided in BLMC 16.24.030. This assessment has been reviewed and approved by the City<sup>2</sup>.

### **F. Processing Background**

The design review application was received on September 17, 2019. The City deemed the application officially complete on September 27, 2019. The City issued a comment letter on October 31, 2019. The applicant submitted revisions in response to the City's comments on December 3, 2019, but the revisions did not address the City's comments. The City met with the Applicant to discuss the outstanding items on December 4, 2019. The Applicant submitted a second set of revisions on December 12, 2019. As of the date of the Design Commission meeting, the application has been under review for thirty-eight (38) days as calculated pursuant to BLMC 14.10.070

### **G. Public Outreach**

The City issued the Notice of Application on October 11, 2019. The mandatory fifteen (15) day comment period was provided from October 11, 2019 until October 28, 2019. The City did not receive any comments during this period. The Design Commission will also hold a public meeting to discuss this project on January 8, 2020.

## **II. PROJECT SUMMARY**

The proposed development is located within a portion of the former 149 acre Washington State University (WSU) Demonstration Forest. In 2009, the City of Bonney Lake, WSU, and Weyerhaeuser entered into the WSU Development Agreement (Agreement) to guide the future development of the property after laminated root disease was discovered in the WSU Forest following a windstorm in February 2006. As part of the development agreement, the 149 acre site was divided into three functional areas: 47.4 acres for a City park (Midtown Park), 64.7 acres for residential development, and 35 acres for commercial development. The Agreement also vested future development to the standards in effect at the time that the Agreement was executed in 2009.

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<sup>2</sup> See City of Bonney Lake Administrative Decision dated February 17, 2017 (Attachment 6)

The property identified for commercial development was purchased by Visconsi for the development of the Mountain View Marketplace. The property was divided into a number of lots for future commercial development. The first development within the Mountain View Marketplace was a Costco Warehouse Club, which is the primary anchor within the shopping center. The current proposal is located on one of the outlots created by Visconsi and sold to Sound Credit Union. The new owner is proposing to construct a new 2,540 square foot Sound Credit Branch facility, which will include drive-up canopy. Following the construction of this building the existing Sound Credit Branch located at 18320 State Route 410 East will close.

### III. ANALYSIS

Design review is required for all property improvements, except for those identified in BLMC 14.95.020. The proposed project does not meet one of the exemptions provided in BLMC 14.95.020 and therefore is required to go through the design review process. While the purpose of design review is provided in Chapter 14.95 BLMC, there are no specific standards list in this chapter. Therefore, the required design standards are those standards established in other chapters of the development code. Below is a discussion of how this proposal meets the development standards that were in effect in 2009 as required by Section 8.2 of the Agreement<sup>3</sup>.

#### A. Landscaping (Chapter 16.14 BLMC)

This chapter provides requirements pertaining to the design of landscaping for commercial project and the proposal meets these requirements as provided below:

##### 1. Buffering

- Type III landscaping buffers<sup>4</sup>, along with street trees, are required along street frontages pursuant to BLMC 16.14.090. The proposed project has street frontages along 98<sup>th</sup> Street East, and State Route 410 East. As shown on the landscaping plan<sup>5</sup>, the applicant is providing the required Type III landscaping buffer with the required street trees along 98<sup>th</sup> Street East and 204<sup>th</sup> Avenue East. When State Route 410 East was widened as part of the construction of the Costco, street trees were installed along State Route 410 East. The Applicant is providing the

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<sup>3</sup> Section 8 of WSU Development Agreement vested the development of the property to the Environmental Regulations, including the Landscaping Code, in Title 16 BLMC and the Zoning Code in Title 18 BLMC. The code references contained in this report refer to the vested code provisions and may not match the provision contained in the currently adopted development regulations available on-line. Copies of the vested code chapters are available for review by interested parties.

<sup>4</sup> Type III landscaping buffers are required to be a minimum of five (5) feet wide, be slightly view obscuring, and required trees are allowed to be 100% deciduous trees pursuant to BLMC 16.14.060.

<sup>5</sup> See the Landscaping Plan (Attachment 1)

required Type III landscaping buffer along State Route 410 East. The landscaping plan is consistent with this requirement.

- Type III landscaping buffers<sup>4</sup> are required along building façades that are fifty (50) feet or more in length pursuant to BLMC 16.14.120. The eastern and western façades of the proposed building are both over fifty (50) feet in length. The landscaping plan<sup>5</sup> includes a Type III landscaping buffers along the eastern and western façades of the building. However, there are no trees within these buffers as required by BLMC 16.14.070. The layout is acceptable; however, a revised landscaping plan will need to be submitted with the building permit illustrating the required trees on the eastern and western façades. The northern and southern façades are less than fifty (50) feet; therefore, these façades are exempt from the Type III landscaping buffering requirement.

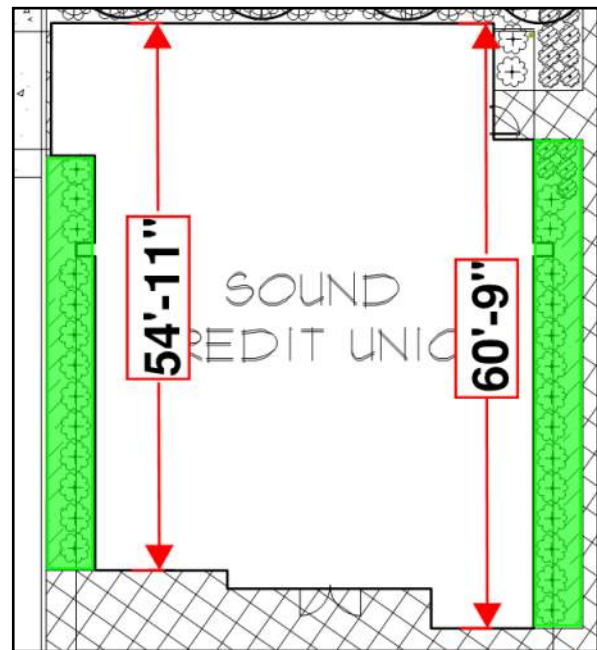


Figure 2: Facade Buffering

- A Type III landscaping buffer is required along all interior property lines when the adjoining property is not dedicated to parking pursuant to BLMC 16.14.100.A. The proposed landscaping plan includes the required Type III landscaping buffer along the interior property lines. Therefore the proposed landscaping plan is consistent with this requirement.
- All refuse containers are required to be screened by a landscape buffer that is at least five (5) feet in depth and contains plantings. The buffer must be dense and tall enough to totally obscure the refuse container and may include a fence or wall pursuant to BLMC 16.14.110. The layout includes allowed fence around the refuse containers and the required landscaping. The screening around the enclosure is consistent with the requirements of BLMC 16.14.110. The enclosure will need to have a roof to prevent rain water from entering the City’s sanitary sewer system

## 2. Parking Lot

- At least five percent (5%) of surface area dedicated to parking and vehicular maneuvering areas, excluding the Type III landscaping buffers along the property lines shall be devoted to Type IV landscaping buffers to provide tree canopy pursuant to BLMC 16.14.100.B. The total area of the parking areas and vehicular maneuvering areas<sup>6</sup> is approximately 19,216 square feet. Five percent (5%) of this area would be 961 square feet. The landscaping plan shows six (6) Type IV landscaping areas within the parking lot<sup>7</sup> containing 891 square feet, which does not comply with the five percent (5%) requirement. Therefore, as part of the building permit, the Applicant shall provide a revised landscaping plan that includes an additional seventy (70) square feet of Type IV landscaping areas within the parking lot.

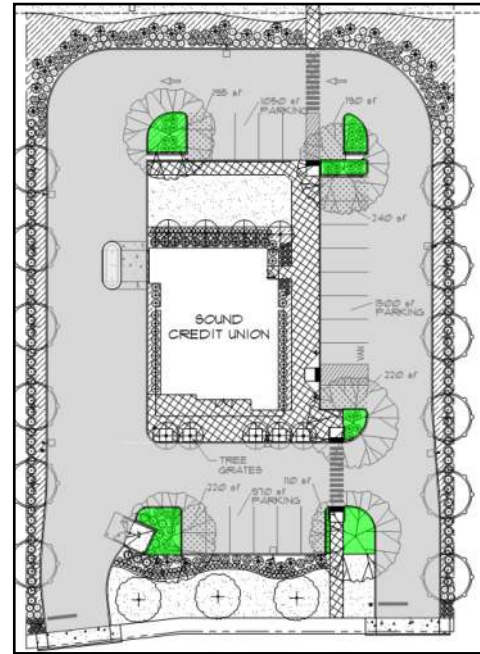


Figure 3: Parking and Maneuvering Areas

- A sufficient number, species, and distribution of trees are required to be provided so that upon maturity the tree canopy shall cover at least thirty percent (30%) of the parking and maneuvering areas, not counting receiving and refuse areas pursuant to BLMC 16.14.100.C. The total square footage of the parking and maneuvering areas is 19,216 square feet. The landscaping plan includes a statement that future tree canopy coverage will cover 1,175 square feet, which equates to approximately six percent (6%) of the parking and maneuvering areas. The project does not comply with the minimum requirement; therefore, as part of the building permit submittal, the Applicant shall provide a revised landscaping plan that provides additional tree canopy and includes an illustration of the mature tree canopy over the parking and maneuvering areas to demonstrate that the requirement is met.

<sup>6</sup> These areas are highlighted in gray on Figure 3

<sup>7</sup> These areas are highlighted in green on Figure 3

**B. Commercial District (Chapter 18.26 BLMC):**

This chapter provides requirements pertaining to setback and bulk regulations and the proposal meets these requirements as provided below:

**1. Permitted Use**

At the time of the Development Agreement, the property was zoned Commercial District (C-2). Banks are a permitted use in the C-2 pursuant to 18.26.020.E.7.

**2. Setbacks**

No setbacks are required, except for space needed to provide the required landscaping pursuant to BLMC 18.26.050.A. – BLMC 18.26.050.C. Sufficient space has been provided for the required perimeter landscaping.

**3. Building Height**

The maximum building height is thirty-five (35) feet, without approval from East Pierce Fire and Rescue pursuant to BLMC 18.26.050.D. The proposed building is less than thirty-five (35) feet in height.

**4. Open Space**

All commercial uses in the C-2 are required to provide a minimum of ten percent (10%) of the site as landscaping or public open space pursuant to BLMC 18.26.050.E. The proposed project provides approximately forty-seven percent (47%) of the site as landscaping and public open space, which exceeds ten percent (10%) minimum.

**C. Commercial Development Standards (Chapter 18.31 BLMC):**

This chapter establishes requirements pertaining to general performance standards and the proposal is consistent with these requirements.

**1. Parking**

The proposed project is within a shopping center and is therefore required to provide one parking space for every 250 square feet of building area pursuant to BLMC 18.31.010. The proposed building is approximately 2,540 square feet; therefore, the project is required to provide ten (10) parking spaces. The applicant has provided twenty (20) parking stalls. The standards do not establish a parking maximum.

## 2. Lighting

Lighting associated with the proposed project is required to be designed in such a way as to prevent a strong dazzling light or the reflection of a strong dazzling light beyond the property lines pursuant to BLMC 18.31.030.F. The photometric plan<sup>8</sup> submitted by the applicant complies with this requirement; however, the building configuration shown on the photometric plan is a previous version. Therefore, the applicant will need to submit a revised lighting plan with the building permit consistent with the approved site plan demonstrating that the maximum amount of onsite lumens at any point is six (6) lumens.

### D. Environmental Impact Statement

At the time that the Agreement was prepared, the stated purpose of design review, as provided in the previous versions of BLMC 14.95.010<sup>9</sup>, was "... to implement the Community Character Element of the comprehensive plan." In 2015, the City adopted Ordinance 1524 amending the purpose statement and removing the reference to the Community Character Element as the element was removed from the comprehensive plan as part of the periodic update in 2015. The project is not subject to the version of the design review chapter that was in effect in 2009 as neither Chapter 14.95 nor Title 14 are listed in Section 8.2 as vested development standards. Therefore, the project is reviewed under the current version of Chapter 14.95, which does not require full compliance with all of the elements of the former Community Character Element.

However, the DEIS prepared as part of the development agreement process analyzed the full buildout of the project<sup>10</sup>. The DEIS included a lengthy discussion<sup>11</sup> of how the proposed development of the property would be consistent with the City's previously adopted Community Character Element of the comprehensive plan in effect in 2009. While the project is not required to demonstrate full compliance with every policy in the previously adopted Community Character Element, projects are required to demonstrate compliance with those elements specifically discussed in the DEIS. The City is required to verify that the project falls within the proposed actions evaluated in the DEIS as required by Section 9.3 and 9.4 of the Agreement<sup>12</sup>. Therefore, a discussion of how the project complies with those elements of the Community Character Element as discussed in the DEIS<sup>13</sup> follows:

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<sup>8</sup> See the Photometric Plan (Attachment 3)

<sup>9</sup> See previous Ordinance 1025 Section 10.

<sup>10</sup> See Section 9.1 of the *WSU Development Agreement* dated December 22, 2009 page 17.

<sup>11</sup> See Section 3.3 of the *WSU Project Site – Bonney Lake DEIS* pages 3.3-3 through 3.3-6.

<sup>12</sup> See Section 9.3 of the Agreement which explained that the proposed actions evaluated in the EIS (collectively the DEIS and FEIS) would be implemented through a series permits over a period of time. Under Section 9.3, if a project fell within the proposed action evaluated in the EIS then a separate threshold determination would not be required and the City would adopt the existing environment documents. Under Section 9.4 if a permit did not

**1. DEIS Discussion Community Character Element – General:**

- *The areas would be developed with a layout that is conducive to pedestrian use of the retail area and pedestrian interaction between the retail area and the community park.*

The City has worked with Visconsi Companies, the principal developer, to create a street grid system within the retail area that incorporates sidewalks on both sides of the streets, with the exception of proposed 98<sup>th</sup> Street East, as the adopted cross-section calls for a sidewalk only one side of the roadway. 100<sup>th</sup> Street East connects to the Midtown Park property providing sidewalks from the retail area to the future park entrance. As a result, the retail area will not be developed as a single larger parcel with a large parking lot, instead it will be developed as a series of parcels with smaller parking lots interconnected with a pedestrian friendly street grid containing sidewalks that provide connectivity between the park and the retail area. The complete street grid is currently under construction. A picture of this grid system from the approved civil plans is provided below:

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fall within the scope of the alternatives examined in the EIS, the City would be able to require supplemental environmental review to include the preparation of a Supplemental Environmental Impact Statement of an Addendum to the existing EIS.

<sup>13</sup> Each of the main points from the discussion section are summarized in order to provide standard by which to review the proposed project. These main points are provided in italics and are not verbatim quotes from the DEIS, but were prepared based on the intent expressed in the discussion section of the DEIS and incorporate the main concept.





Figure 4: Street Grid

- *The development would have human- scale architectural character<sup>14</sup>, which would be accomplished through the size and scale of certain buildings, by locating buildings adjacent to sidewalks and parking away from the building entrances and by providing appropriate landscaping and other pedestrian amenities such as street furniture and weather protection.*

The primary entrance to the building are not located directly in front of a parking area but is located on the southern façade, which is adjacent to the pedestrian plaza. Staff has determined that the proposed layout is consistent with the requirement to have the parking away from the building entrance.

In order to meet the requirement to provide pedestrian amenities, such as street furniture<sup>15</sup>, the principle developer has prepared a pedestrian amenity plan for the portion of the site east of 204<sup>th</sup> Avenue East to ensure that the design of the street furniture will be consistent throughout the development. The street amenity plan has

<sup>14</sup> “Human-scale” refers to urban settings whose individual buildings and features are small enough, varied enough, interesting enough, and close enough together to appeal to the pedestrian as discussed in the DEIS page 3.3-4 in the Summary Section.

<sup>15</sup> Street furniture is a collective term typically used to describe objects and pieces of equipment installed along streets for various purposes (e.g. benches, fountains, memorials, public sculptures, trash receptacles, etc.).

been approved by the City. None of the proposed amendments are located along 98<sup>th</sup> Street East, west of 204<sup>th</sup> Avenue East.

## **2. DEIS Discussion Community Character Element – Midtown:**

- *The development of the property would feature a different character than the adjacent retail uses and be developed in a manner that would be more suitable to pedestrians in addition to providing sufficient vehicle access.*

Traditional shopping centers typically feature one or more buildings located on the perimeters of the property with a large parking lot within the middle of the property. Within these traditional shopping centers parking stalls are located directly in front of the building entrance separated by small walkways. There is typically no buffer between the adjacent parking areas and the walkways do not provide usable pedestrian spaces or amenities. Additionally, there are no sidewalks that provide a direct connection from the building entrance to the public sidewalks, in these retail developments; pedestrians are left to walk through the parking lots to reach the public sidewalks.

Development of the Mountain View Marketplace is oriented around a central pedestrian scale street grid with short blocks and a series of smaller parcels. The overall layout will also result in a multiple parking lots instead of one larger parking lot located in the middle of the development. The proposed layout of the proposed building includes a direct pedestrian connection from the building to State Route 410 East and 98<sup>th</sup> Street East. These elements contribute to a retail development that is more suitable to pedestrians while providing sufficient vehicle access.

- *Access to the area will not be provided by individual driveways on SR-410 and on South Prairie Road East.*

The proposed development is oriented around an internal street grid that is accessed off of 204<sup>th</sup> Avenue East as illustrated on Figure 4. Access to the proposed development will be via 98<sup>th</sup> Street East

- *The project will result in the creation of a pedestrian-friendly “urban village”<sup>16</sup> environment that promotes pedestrian connections between the retail uses and Midtown Park and includes attractive street edges, modulated architectural forms*

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<sup>16</sup> The term “urban village” is not defined in either the EIS or the Agreement. The common use of the term is meant to refer is an urban development typically characterized by medium-density housing, mixed use zoning, good public transit and an emphasis on pedestrian facilities, public space and building design that creating a unique sense of place.

*with an inviting character, and the screening of dumpsters, mechanical equipment and loading areas.*

The proposed building responds to the goals outlined in the WSU Project Site – Bonney Lake DEIS by creating a human-scaled and architecturally intriguing environment. The building itself is composed of two (2) single-story volumes, each unique to the other in its roof form and materiality. This breaks down the scale of the building and provides variety in material texture, scale, and color.

One volume is visually separated from the other with a folding plane roof line in which the roof folds vertically down, exposing its warm wood soffit while reinforcing the break between the two volumes. A ribbon of windows along the East façade are designed to band the building vertically, further breaking it down to a comfortable human scale. Vast amounts of glazing are used on the South façade to highlight the main entry as well as bring natural daylight into the space. This transparency creates connections between the building interior and exterior where the exposed structure and colorful graphics on the interior can be seen. At night, interior and exterior lighting will allow the building to glow, creating an intriguing environment for passing pedestrians.

As a result of its location in the site, the building is surrounded on all sides by landscaping or decorative pavement. Pathways connect the site to both 98<sup>th</sup> Street East and State Route 410 East creating a pedestrian route to and through the site. Parking and the drive-thru lanes have been laid out to be convenient for both motorists and pedestrians. Large amounts of open, landscaped space with clear visuals through the site make orientation simple for both pedestrians and motorists and keep the whole site at a human scale. Varied landscaping, paving textures, lighting, and signage create variety in the site to compliment that of the building.

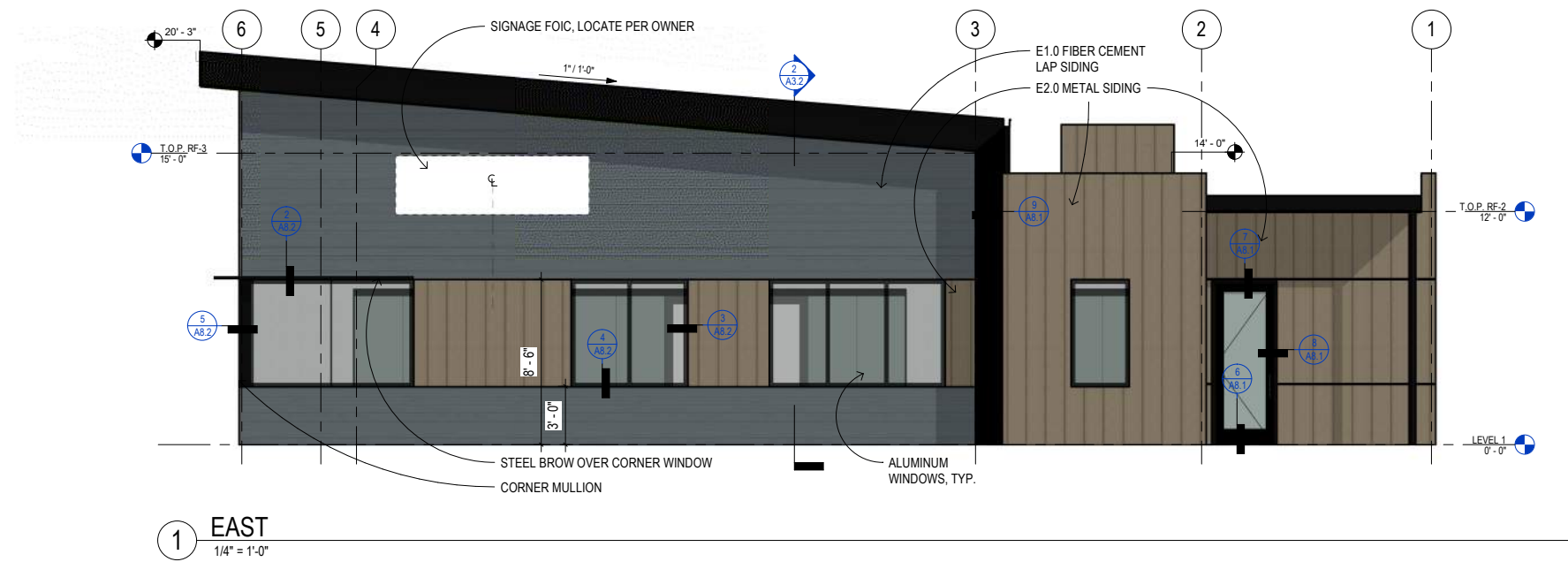
## **IV. CONCLUSION**

The design review is consistent with the applicable City development regulations, the 2009 Agreement, and the EIS provided that the conditions of approval below are imposed on the project:

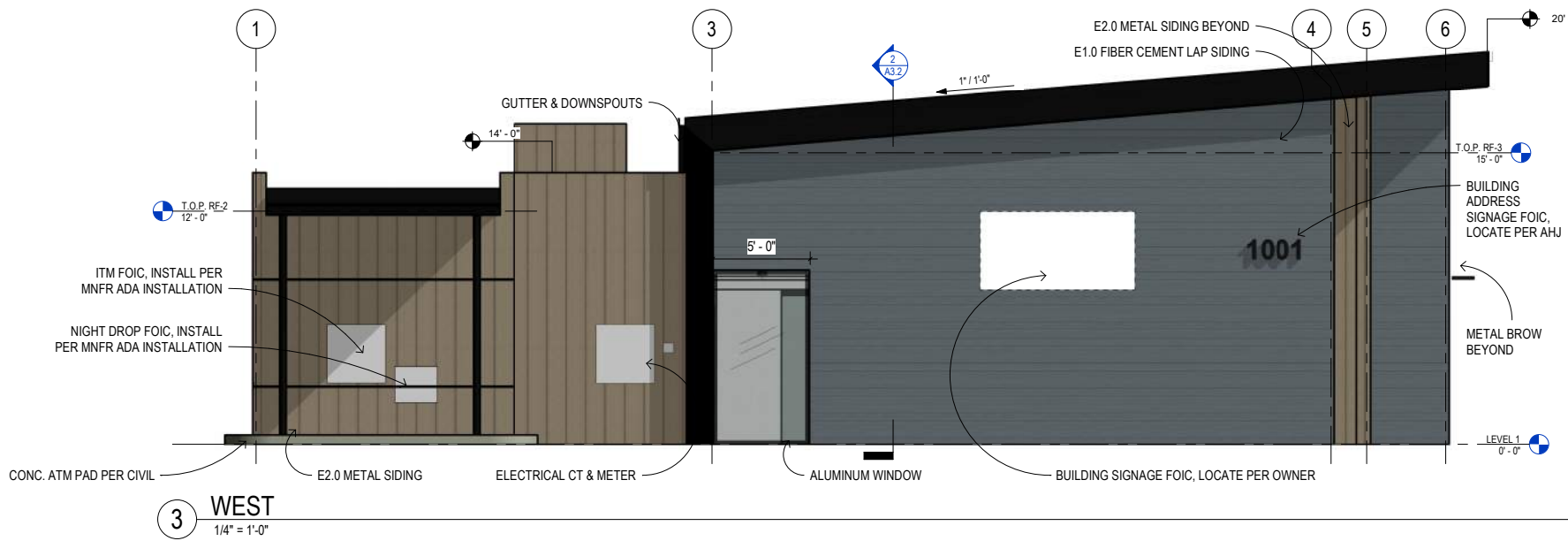
- 1.** The Applicant shall submit a revised landscaping plan as part of the building permit process to:
  - a.** Add the required trees in the Type III landscaping buffer on the eastern and western façade;

- b.** Provide an additional seventy (70) square feet of Type IV landscaping areas within the parking lot; and
  - c.** Provide additional tree canopy and an illustration of the mature tree canopy over the parking and maneuvering areas.
- 2.** Revise the lighting plan so that it is consistent with the re-orientation of the building and so that at no point do the onsite lumens exceed 6.0 lumens.
- 3.** All exterior lighting shall be dark sky complaint.

# ATTACHMENT 1



**1 EAST**  
1/4" = 1'-0"



**3 WEST**  
1/4" = 1'-0"

**SOUND CREDIT UNION  
BONNEY LAKE**  
20215 STATE ROUTE 410 E  
BONNEY LAKE, WA 98391

95% CD SET



ISSUE DATE: 10/08/19

MARK	DATE	DESCRIPTION

CONTENTS:

**EXTERIOR  
ELEVATIONS**

SCALE: **As indicated**  
DRAWN: **AW**  
CHECKED: **AW/DP**  
PROJECT NO: **2019009.001**

SHEET:

**A3.0**

### ELEVATION NOTES:

1. REFER TO T1.0 FOR PROJECT GENERAL NOTES.
2. REFER TO A8.X FOR SEALING OF WALL OPENINGS & PENETRATIONS
3. SEE SHEET A7.X FOR EXTERIOR WALL AND ROOF ASSEMBLIES
4. REFER TO ROOF PLANS FOR ROOF DETAIL CALLOUTS AND DESCRIPTIONS
5. DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, CONTACT ARCHITECT FOR CLARIFICATION.

**SOUND CREDIT UNION  
BONNEY LAKE**  
20215 STATE ROUTE 410 E  
BONNEY LAKE, WA 98391

95% CD SET



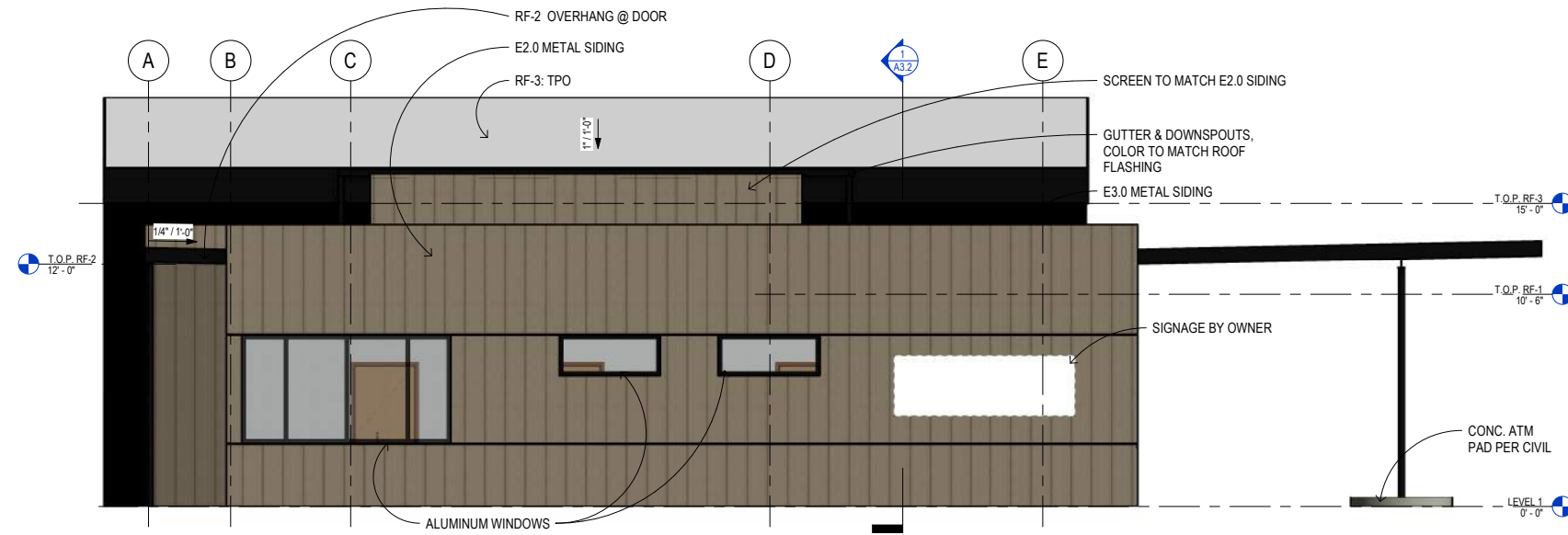
ISSUE DATE: 10/08/19

MARK	DATE	DESCRIPTION

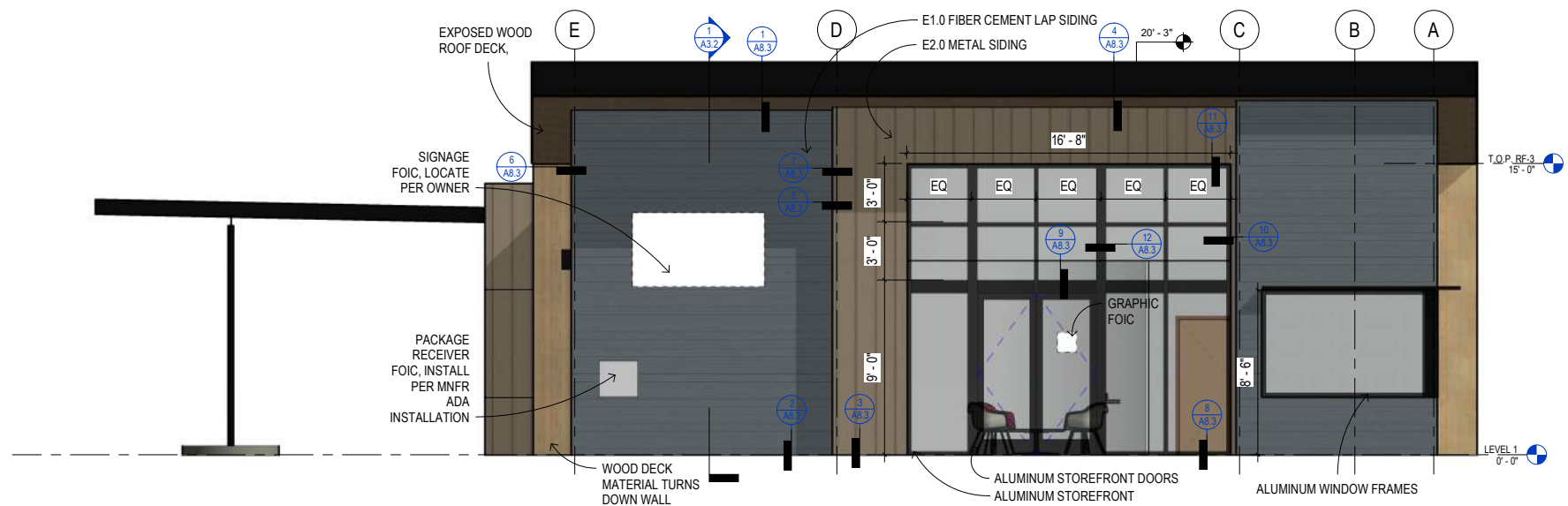
CONTENTS:  
**EXTERIOR  
ELEVATIONS**

SCALE: 1/4" = 1'-0"  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2019009.001

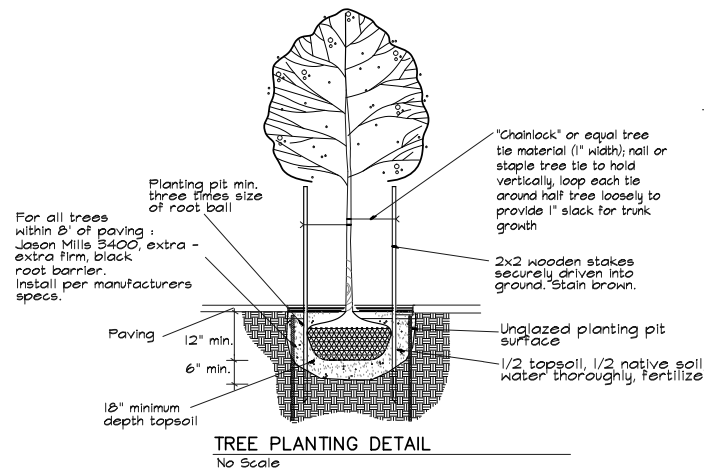
SHEET:  
**A3.1**



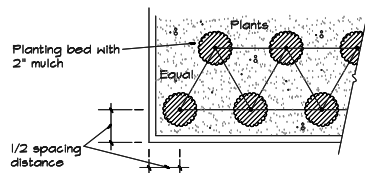
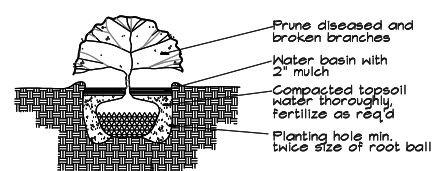
1 NORTH  
1/4" = 1'-0"



2 SOUTH  
1/4" = 1'-0"



Note:  
1. Installation includes removal of stakes one year after installation.  
2. Adjust tree ties during establishment to allow for growth.



SHRUB PLANTING DETAIL  
No Scale

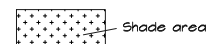
GROUND COVER SPACING DETAIL  
No Scale- Triangular Spacing

NOTES

- Subgrades, including berms, to within 1/10th foot provided by General Contractor unless otherwise noted.
- Subgrade shall be scarified or rototilled if conditions require.
- 4" depth 3-way topsoil or equal in all planting areas.
- 2" depth fine grade bark mulch in all planting beds.
- All plant material shall be healthy, full and conform to USA standard nursery stock, latest edition.
- Plant material or size or kind not available may be substituted only with approval of Landscape Architect or Owner.
- All mass plantings shall have triangular spacing.
- All tree pits shall be inspected to insure proper drainage.
- Positive drainage shall be maintained. Mound planting areas minimum 6".
- Landscape Contractor shall maintain site until final inspection and acceptance by Owner.

PARKING SHADE

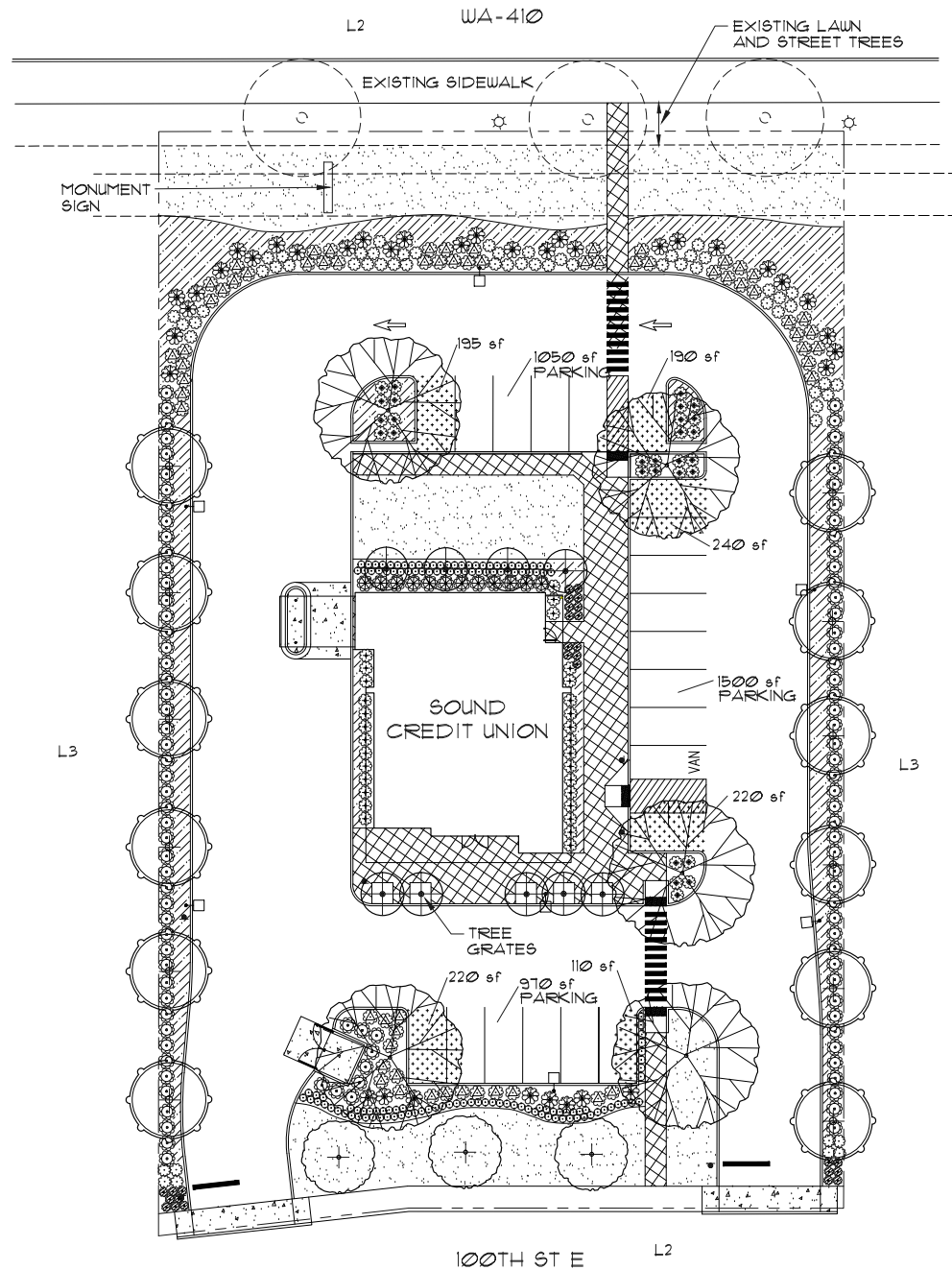
Parking area.....3520 sf  
Shaded area.....1175 sf=33.3%



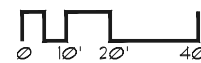
PLANT LIST

SYMBOL	BOTANICAL / COMMON	* QUANTITY	SIZE	CONDITION
	Fraxinus oxycarpa 'Raywood' / Raywood Ash	5	3" cal.	B&B
	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	6	3" cal.	B&B
	Liquidambar st. 'Clydesform' / Emerald Sentinel Sweetgum	12	3" cal.	B&B
	Prunus x hillieri 'Spire' / Spire Cherry	9	3" cal.	B&B
	Rhododendron Chinoides /	36	27" min.	full & bushy
	Rhododendron unique /	12	27" min.	full & bushy
	Cornus v. sericea 'Kelsey' / Kelsey Redosier Dogwood	62	2 gallon	full & bushy
	Viburnum tinus 'Spring Bouquet' / Spring Bouquet Viburnum	104	5 gallon	full & bushy
	Azalea vuyks scarlet /	30	2 gallon	full & bushy
	Azalea Galety	28	2 gallon	full & bushy
	Berberis thun. atro. 'Crimson Pygmy' / Crimson Pygmy Red Barberry	56	2 gallon	full & bushy
	Liriopsis muscari / Big Lily Turf	127	1 gallon	full & bushy
	Hemerocallis 'Stella de Oro' / Daylily	27	1 gallon	full & bushy
	Arctostaphylos uva-ursi / kinnickinnik	4" pots	18" o.c.	full
	Sodded Lawn			

\* Confirm all plant quantities



LANDSCAPE PLAN  
SCALE: 1"=20'



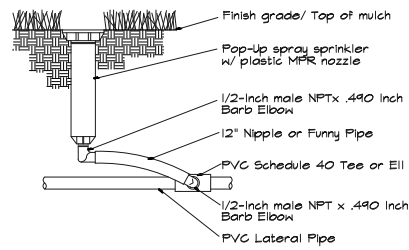
job no.	drawn KL	checked	date 10/11/19	no.	revision	date
				1	REVISOR SITE PLAN	12/12/19
				2	REVISOR SITE PLAN	12/17/19
				3	ROOT BARRIER	11/7/19

SOUND CREDIT UNION  
BONNEY LAKE, WA

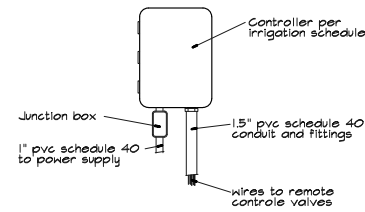
STATE OF WASHINGTON  
LICENSED LANDSCAPE ARCHITECT  
KEN LONEY, No. 383  
CER. 10/11/19

MAIN STREET DESIGN  
LANDSCAPE ARCHITECTURE  
9402 Fidal Court  
Burien, WA 98148  
(206) 842-7886

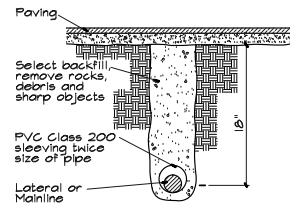
Sheet  
LANDSCAPE PLAN



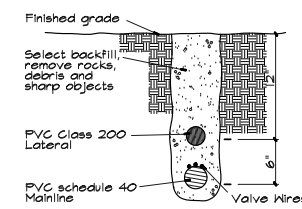
**POP-UP SPRAY SPRINKLER**  
No Scale



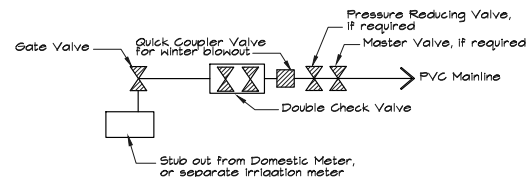
**WALL MOUNT CONTROLLER**  
No Scale



**SLEEVING DETAIL**  
No Scale



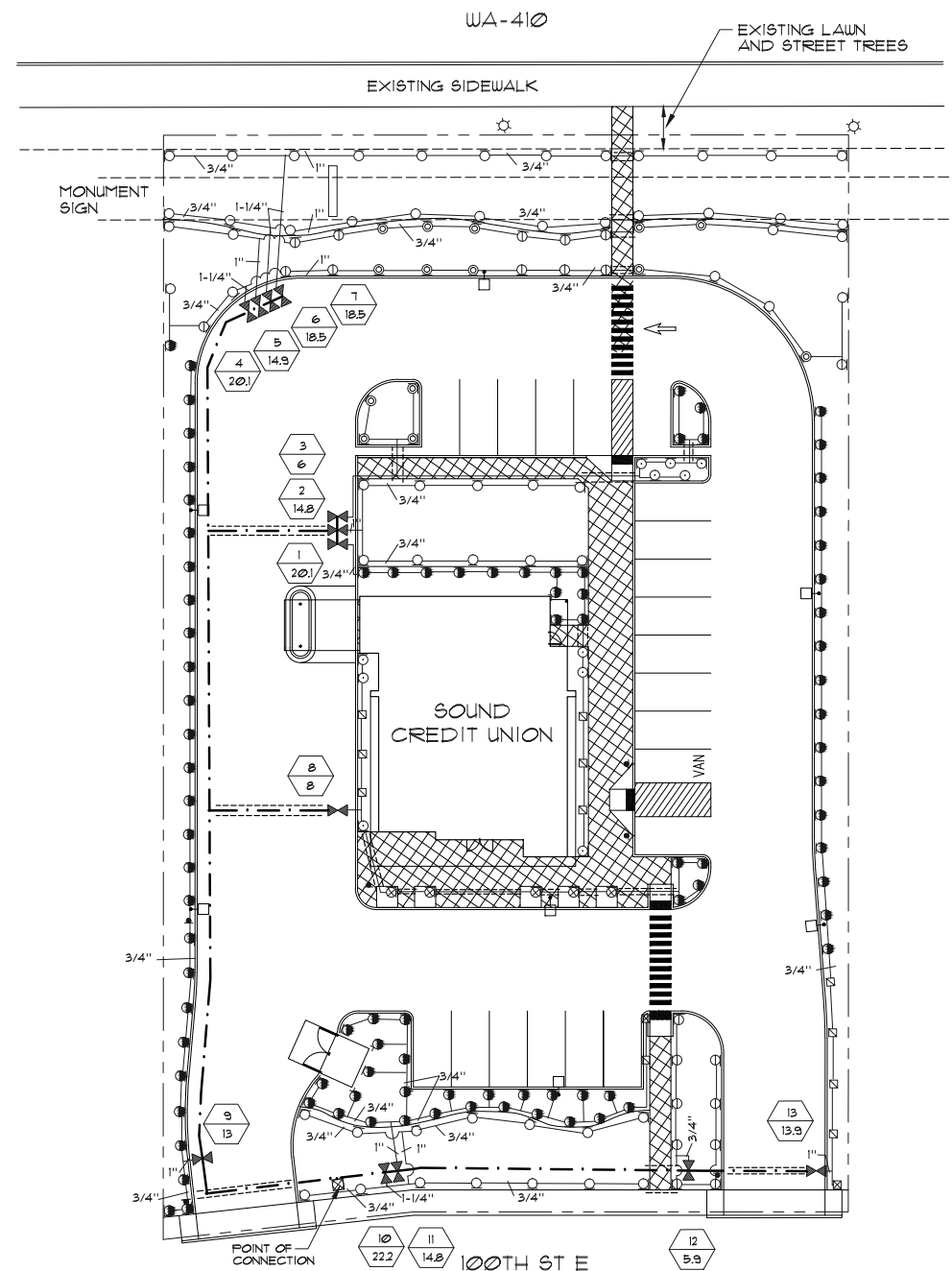
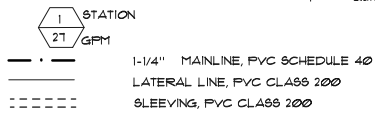
**TRENCHING DETAIL**  
No Scale



**POINT OF CONNECTION**  
No Scale

**IRRIGATION SCHEDULE**

SYMBOL	DESCRIPTION	RADIUS	GPM	PSI
○	RAINBIRD 1800 MPR 15' SERIES POP-UP, 4" LAWN, 6" G.C.	15'	1.85H	30
⊙	RAINBIRD 1800 MPR 12' SERIES POP-UP, 4" LAWN, 6" G.C.	12'	1.30H	30
⊕	RAINBIRD 1800 MPR 10' SERIES POP-UP, 4" LAWN, 6" G.C.	10'	0.79H	30
⊗	RAINBIRD 1800 MPR 8' SERIES POP-UP, 4" LAWN, 6" G.C.	8'	0.52H	30
⊘	RAINBIRD 1800 MPR 5' SERIES POP-UP, 4" LAWN, 6" G.C.	5'	0.2	30
⊙	RAINBIRD 1800 MPR 5QB BUBBLER	4'	0.5	30
⊗	RAINBIRD FEB SERIES PLASTIC VALVES			
⊙	RAINBIRD ESP MODULAR SERIES 13 STATION CONTROLLER - CONFIRM LOCATION			
⊙	POINT OF CONNECTION: 3/4" IRRIGATION METER			
⊙	3/4" FEBCO 850 DOUBLE CHECK VALVE			
⊙	1" QUICK COUPLER VALVE			



**IRRIGATION PLAN**  
SCALE: 1"=20'



job no.	drawn	checked	date	revision	date
	KL		10/11/19		
				1	12/12/19

**SOUND CREDIT UNION**  
BONNEY LAKE, WA

STATE OF WASHINGTON  
KAREN LONEY  
LANDSCAPE ARCHITECT  
CERTIFICATE NO. 383



**MAIN STREET DESIGN**  
LANDSCAPE ARCHITECTURE  
9402 Tidal Court  
Burien, WA 98148  
(206) 842-7886

Sheet  
IRRIGATION PLAN



NOT FOR CONSTRUCTION

**arc**  
architecture resource collaborative

119 MAIN ST, STE #200  
SEATTLE, WA 98104-2579  
(206) 322-3322

**SIDER+BYERS**  
MECHANICAL - ELECTRICAL ENGINEERS

192 Nickerson, Suite #300  
Seattle, Washington 98109  
Phone: 206.285.2966

**Electrical Consultants, Inc.**  
19013 36th Avenue West, Suite E  
Lynnwood, Washington 98036  
Phone: (425) 775-1799 FAX: (425) 774-9870

LIGHTING FIXTURE SCHEDULE					
TYPE	DESCRIPTION	LAMPS	MOUNTING	MANUFACTURER	VA
<b>OUTDOOR</b>					
S1	8" APERTURE LED DOWNLIGHT, MEDIUM LIGHT DISTRIBUTION, 120V, 0-10 DIMMING DRIVER, WET LOCATION LISTED.	2000 LUMENS, 4000K LED	RECESSED	GOTHAM LIGHTING #EVO-40/20-BAR-MD-LSS-120	32
S2	10.25" DIAMETER SURFACE MOUNT LED, CAST ALUMINUM HOUSING, WHITE ACRYLIC DIFFUSER, 120V, WET LOCATION LISTED.	1029 LUMENS, 4000K LED	SURFACE / CEILING	LITHONIA LIGHTING #OLCFM-15	17
S3	8.5"x4.17"x10"D LED WALL SCONCE, VISUAL COMFORT WIDE LIGHT DISTRIBUTION, 120/277V, WET LOCATION LISTED.	3000 LUMENS, 4000K LED	SURFACE / WALL	LITHONIA LIGHTING #WST-P2-40K-VW-MVOLT	25
S5	4"x5.9"x5"D LED WALL LUMINAIRE, DIRECT LIGHT DISTRIBUTION, 120/277V, WET LOCATION LISTED.	1399 LUMENS, 3000K LED	SURFACE / WALL	BEGA LIGHTING #44419-K4	36
PIA	15.5"Wx4"H X 21.75"L POLE MOUNTED LED EXTERIOR LUMINAIRE, 2 LED LIGHT BOARDS, TYPE II WITH SPILL CONTROL LIGHT DISTRIBUTION, MVOLT, HOUSE-SIDE SHIELD, WET LISTED.	12205 LUMENS, 4000K LED	POLE 18'-0" AFG	EATON LIGHTING MCGRAW-EDISON TYPE #GLEON-AF-02-LED-E1-SL2-HSS	115
PIB	SAME AS FIXTURE TYPE P1A EXCEPT TYPE III WITH SPILL CONTROL LIGHT DISTRIBUTION AND LUMEN OUTPUT.	12460 LUMENS, 4000K LED	POLE 18'-0" AFG	EATON LIGHTING MCGRAW-EDISON TYPE #GLEON-AF-02-LED-E1-SL3-HSS	115
PIC	SAME AS FIXTURE TYPE P1A EXCEPT TYPE IV WITH SPILL CONTROL LIGHT DISTRIBUTION AND LUMEN OUTPUT.	11838 LUMENS, 4000K LED	POLE 18'-0" AFG	EATON LIGHTING MCGRAW-EDISON TYPE #GLEON-AF-02-LED-E1-SL4-HSS	115
PID	SAME AS FIXTURE TYPE P1A EXCEPT TYPE V NARROW LIGHT DISTRIBUTION AND LUMEN OUTPUT.	12406 LUMENS, 4000K LED	POLE 18'-0" AFG	EATON LIGHTING MCGRAW-EDISON TYPE #GLEON-AF-02-LED-E1-5WQ	115

**SYMBOL LEGEND**

LIGHTING FIXTURES

- POLE MOUNTED AREA LIGHTING FIXTURE
- RECESSED DOWNLIGHT
- SURFACE MOUNTED
- EXTERIOR WALL MOUNTED

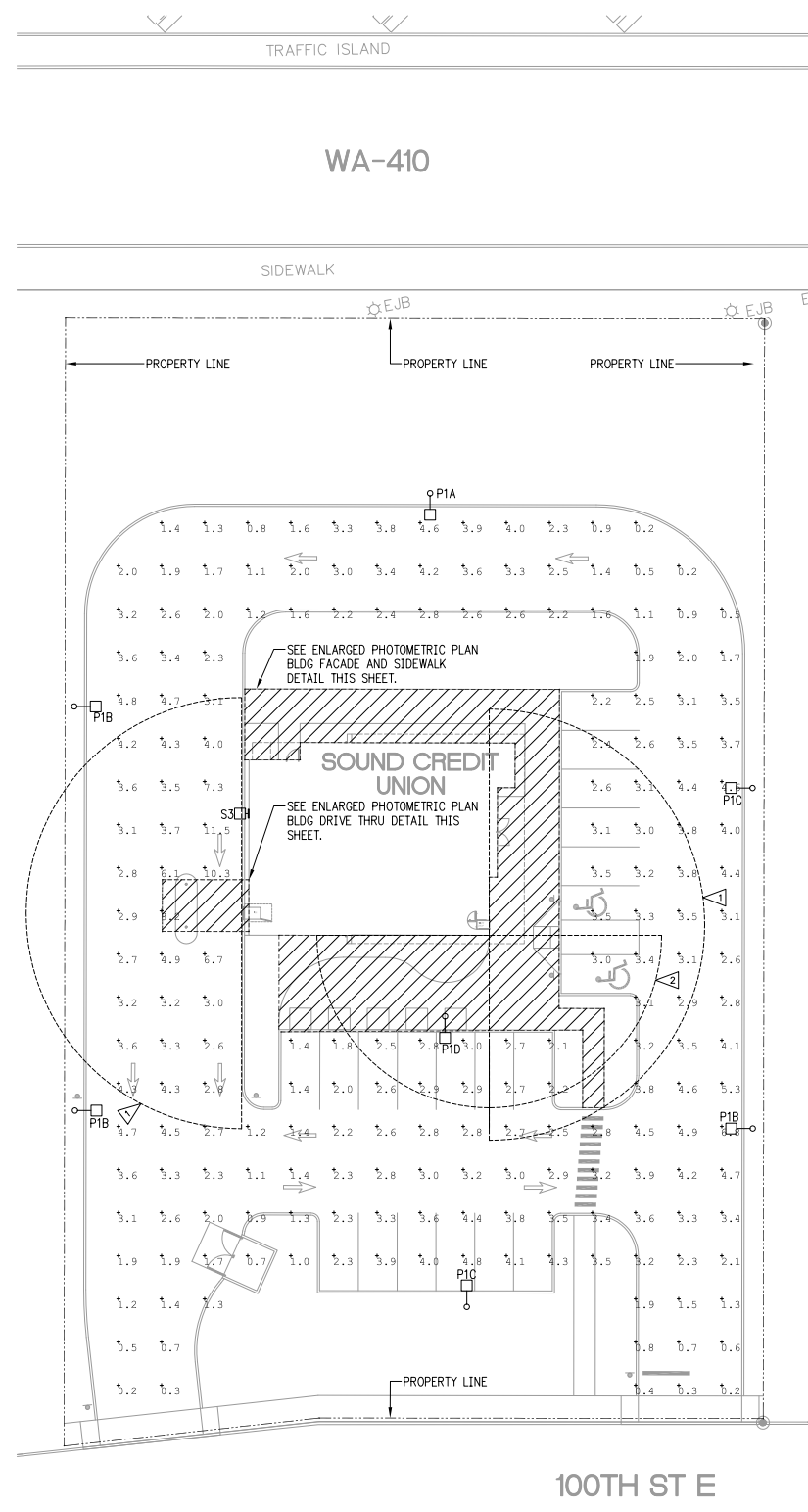
CALL OUTS

- ▶ DETAIL NOTE

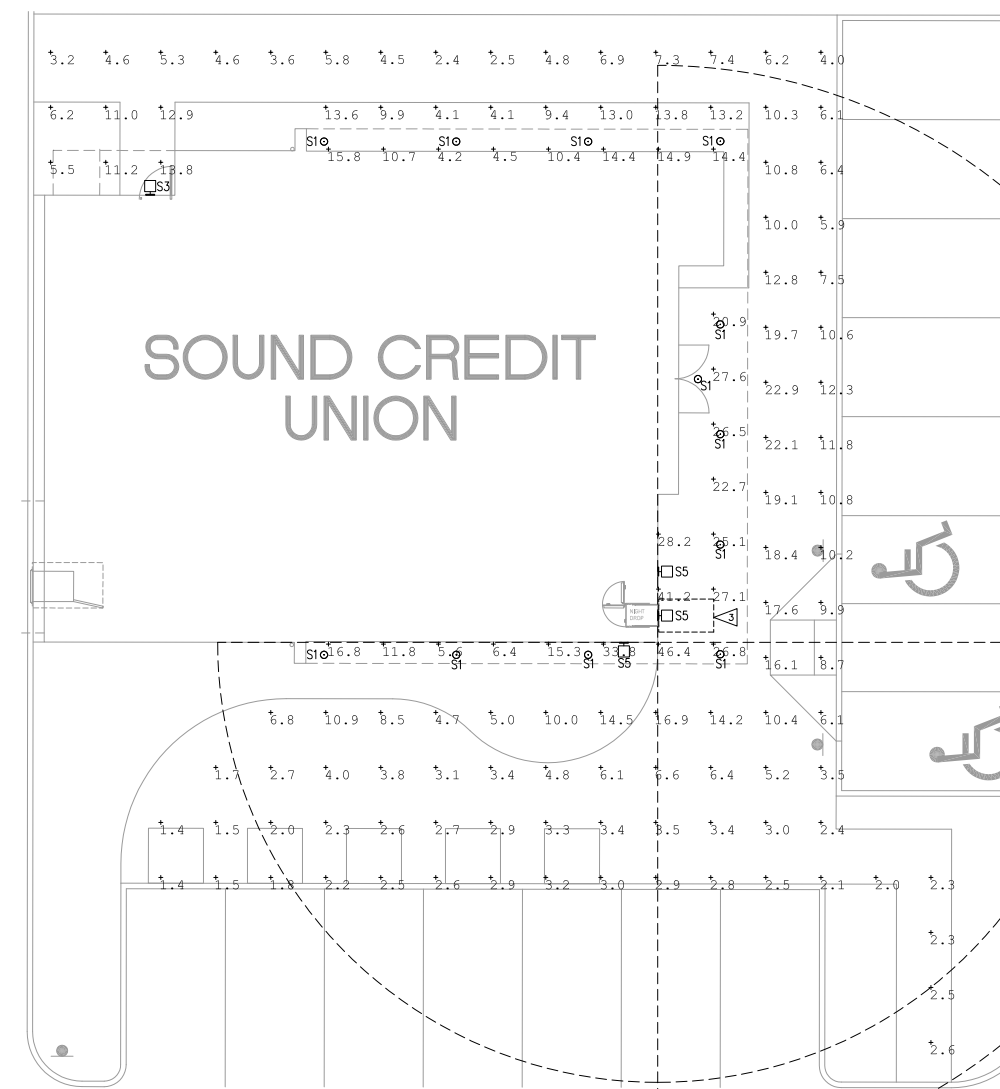
**CALCULATION SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN
BUILDING FACADE	ILLUMINANCE	FC	19.65	46.4	4.2	4.68
DRIVE THRU	ILLUMINANCE	FC	12.28	16.7	9.1	1.35
DRIVES & PARKING	ILLUMINANCE	FC	2.90	11.5	0.2	14.50
SIDEWALK AREAS	ILLUMINANCE	FC	6.97	22.9	1.4	4.98

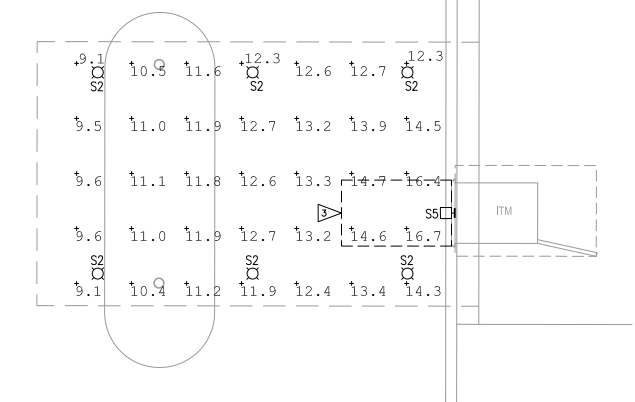
- SHEET NOTES**
- MINIMUM OF 2FC WITHIN 50FT RADIUS OF FACE OF AUTOMATED TELLER MACHINE AND OR NIGHT DEPOSIT FACILITY IS MET PER WASHINGTON RCW 19.174.050 PARAGRAPH (2)(3) LIGHTING REQUIREMENTS.
  - MINIMUM OF 2FC WITHIN 40FT RADIUS OF FACE OF AUTOMATED TELLER MACHINE AND OR NIGHT DEPOSIT FACILITY IS MET PER WASHINGTON RCW 19.174.050 PARAGRAPH (2)(3) LIGHTING REQUIREMENTS.
  - MINIMUM OF 10FC EXTENDING OUTWARD 5FT OF TELLER MACHINE AND OR NIGHT DEPOSIT FACILITY IS MET PER WASHINGTON RCW 19.174.050 PARAGRAPH (1) LIGHTING REQUIREMENTS.



PHOTOMETRIC SITE PLAN - DRIVES & PARKING  
SCALE: 1" = 20'-0"



ENLARGED PHOTOMETRIC PLAN - BLDG FACADE & SIDEWALK  
SCALE: 1/8" = 1'-0"



ENLARGED PHOTOMETRIC PLAN - DRIVE THRU  
SCALE: 1/4" = 1'-0"

SOUND CREDIT UNION  
BONNEY LAKE



ISSUE DATE: 09/11/2019

MARK	DATE	DESCRIPTION

CONTENTS:  
**PHOTOMETRIC SITE PLAN**

SCALE: AS NOTED  
DRAWN: MC  
CHECKED: BA  
PROJECT NO: 19069

SHEET:  
**EP1.00**

NOT FOR CONSTRUCTION



119 MAIN ST, STE #200  
SEATTLE, WA 98104-2579  
(206) 322-3322



MECHANICAL - ELECTRICAL ENGINEERS  
192 Nickerson, Suite #300  
Seattle, Washington 98109  
Phone: 206.285.2966



SOUND CREDIT UNION  
BONNEY LAKE



ELECTRICAL PHOTOMETRICS - SITE 09-11-2019

ISSUE DATE: 09/11/2019

MARK	DATE	DESCRIPTION

CONTENTS:  
LUMINARIE  
SPECIFICATIONS

SCALE: AS NOTED  
DRAWN: MC  
CHECKED: BA  
PROJECT NO: 19069

SHEET:  
EP1.01

**McGraw-Edison**

DESCRIPTION  
The GLEON™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high efficiency AcuityLED Optics™ system provides uniform and energy corrective illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated and UL/CUL Listed for wet locations.

Listing #	Type
	P1A,B,C,D

Specifications:  
**Electrical:** Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and cap enclose housing and die-cast aluminum heat sink. A unique, patent pending, interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional no-lead hardware available for areas of entry into electrical chamber. Housing is IP68 rated.  
**Optics:** Patented, high efficiency, injection-molded AcuityLED Optics technology. Optics are precisely designed to shape distribution, maximizing efficiency and application spacing. AcuityLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 2700K CCT 70 CRI, 5000K, 5000K and 6000K CCT).

GLEON GALLEON LED  
1-10 Light Squares  
Solid State LED  
AREA/SITE LUMINAIRE  
WaveLinx

**gotham**

Luminaire Type: TYPE S1  
Listing Number: G12-2133  
Gotham Architectural Downlighting LED Downlights  
8" Evo® Downlight  
Solid-State Light

**OPTICAL SYSTEM**

- Self-flanged trim, optional, matte-diffuse or specular finishing trim
- Patented Bouncing Ra™ optical design (U.S. Patent No. 5,900,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polyarbonate lens integral to light engine

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	MATHGE	LUMENS PER WATT
2900	2267	217	21.3
2500	2564	47	23.0
3000	3299	47	22.2

**LITHONIA LIGHTING**

OUTDOOR GENERAL PURPOSE  
OLCFM  
OUTDOOR LED CAST FLUSH MOUNT

FEATURES & SPECIFICATIONS  
INTENDED USE — The OLCFM provides years of maintenance-free general illumination for outdoor and commercial applications such as parking lots, walkways and street lighting.  
CONSTRUCTION — Rugged construction design and materials are selected by a 3-step process and built to provide superior resistance to corrosion and weathering. A 3-step coating of the 3-stage process ensures long-term maintenance-free performance in the most extreme climate changes without maintenance.  
Features include:  
- Flooded aluminum housing  
- 3G vibration tested and rated  
- Standard temp: -40 to 80°C  
- Operating temp: -40 to 60°C  
- Max. temp: 80°C  
- Surge protection: 250%  
- Installation — Flush mount to ceiling or wall.  
LISTINGS — UL Listed for wet locations, standard on wet locations. Depend on listing of additional options when listing on wet locations. See listing for additional information on listing on wet locations.  
WARRANTY — 5-year limited warranty. Complete warranty terms located at [www.lithonia.com/resources/terms-and-conditions.aspx](http://www.lithonia.com/resources/terms-and-conditions.aspx).  
Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

**ORDERING INFORMATION** — Most quantities of the product are ordered 'Standard' and listed as follows. Example: OLCFM 15 D06

Series	Light Engine	Color Temperature (CCT)	Voltage	Finish
OLCFM	15	<3000K	277V	303 White or 307 White

**WST LED**  
Architectural Wall Sconce

Detailed technical specifications, including dimensions, weight, and optional back box information. Includes the 'Capable Luminaire' section.

**Capable Luminaire**  
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.  
All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.  
This luminaire is A+ Certified when ordered with DTL controls marked by a 'shaded background'. DTL equipped luminaires meet the A+ specification for luminaire to photocell interoperability.  
This luminaire is part of an A+ Certified solution for RDM/DMX control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a 'shaded background'.  
To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).  
See ordering tree for details.  
A+ Certified Solutions for RDM require the order of one RDM node per luminaire. Sold Separately. [Link to RDM](#). [Link to DTL](#).

**BEGA**

LED wall luminaire - light output on one side

Application: The LED wall mounted luminaire has light output on one side. Arranged individually or in groups, this is a great design element for a host of lighting applications. For downlight applications only.

**Materials**  
Luminaire housing constructed of die-cast and extruded marine grade, copper free (s.0.3% copper content) A380.0 aluminum alloy.  
Anti-scratch glass.  
High temperature silicone gasket.  
Mechanically captive stainless steel fasteners.

**Electrical**  
Operating voltage: 100-277VAC  
Minimum start temperature: 20°C  
LED module wattage: 30W  
System wattage: 30W  
Controllability: 0-10V dimmable  
Color rendering index: Ra > 90  
Luminaire lumens: 3000lm  
Lifetime at Ta = 25°C: >50,000 h (L70)  
Lifetime at Ta = 45°C: >29,000 h (L70)

**LED color temperature**  
 4000K - Product number = 44  
 3000K - Product number = 435  
 3000K - Product number = 43  
 2700K - Product number = 427

**BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.**

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors:  Black (BLK)  White (WHT)  RAL  Bronze (BRZ)  Silver (SLV)  OUS

44419  
LED wall luminaire - light output on one side  
LED      A      B      C      D      E      F      G      H      I      J      K      L      M      N      O      P      Q      R      S      T      U      V      W      X      Y      Z      AA      AB      AC      AD      AE      AF      AG      AH      AI      AJ      AK      AL      AM      AN      AO      AP      AQ      AR      AS      AT      AU      AV      AW      AX      AY      AZ      BA      BB      BC      BD      BE      BF      BG      BH      BI      BJ      BK      BL      BM      BN      BO      BP      BQ      BR      BS      BT      BU      BV      BV      BW      BX      BY      BZ      CA      CB      CC      CD      CE      CF      CG      CH      CI      CJ      CK      CL      CM      CN      CO      CP      CQ      CR      CS      CT      CU      CV      CW      CX      CY      CZ      DA      DB      DC      DD      DE      DF      DG      DH      DI      DJ      DK      DL      DM      DN      DO      DP      DQ      DR      DS      DT      DU      DV      DW      DX      DY      DZ      EA      EB      EC      ED      EE      EF      EG      EH      EI      EJ      EK      EL      EM      EN      EO      EP      EQ      ER      ES      ET      EU      EV      EW      EX      EY      EZ      FA      FB      FC      FD      FE      FF      FG      FH      FI      FJ      FK      FL      FM      FN      FO      FP      FQ      FR      FS      FT      FU      FV      FW      FX      FY      FZ      GA      GB      GC      GD      GE      GF      GG      GH      GI      GJ      GK      GL      GM      GN      GO      GP      GQ      GR      GS      GT      GU      GV      GW      GX      GY      GZ      HA      HB      HC      HD      HE      HF      HG      HH      HI      HJ      HK      HL      HM      HN      HO      HP      HQ      HR      HS      HT      HU      HV      HW      HX      HY      HZ      IA      IB      IC      ID      IE      IF      IG      IH      II      IJ      IK      IL      IM      IN      IO      IP      IQ      IR      IS      IT      IU      IV      IW      IX      IY      IZ      JA      JB      JC      JD      JE      JF      JG      JH      JI      JJ      JK      JL      JM      JN      JO      JP      JQ      JR      JS      JT      JU      JV      JW      JX      JY      JZ      KA      KB      KC      KD      KE      KF      KG      KH      KI      KJ      KK      KL      KM      KN      KO      KP      KQ      KR      KS      KT      KU      KV      KW      KX      KY      KZ      LA      LB      LC      LD      LE      LF      LG      LH      LI      LJ      LK      LL      LM      LN      LO      LP      LQ      LR      LS      LT      LU      LV      LW      LX      LY      LZ      MA      MB      MC      MD      ME      MF      MG      MH      MI      MJ      MK      ML      MN      MO      MP      MQ      MR      MS      MT      MU      MV      MW      MX      MY      MZ      NA      NB      NC      ND      NE      NF      NG      NH      NI      NJ      NK      NL      NM      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XF      XG      XH      XI      XJ      XK      XL      XM      XN      XO      XP      XQ      XR      XS      XT      XU      XV      XW      XX      XY      XZ      YA      YB      YC      YD      YE      YF      YG      YH      YI      YJ      YK      YL      YM      YN      YO      YP      YQ      YR      YS      YT      YU      YV      YW      YX      YZ      ZA      ZB      ZC      ZD      ZE      ZF      ZG      ZH      ZI      ZJ      ZK      ZL      ZM      ZN      ZO      ZP      ZQ      ZR      ZS      ZT      ZU      ZV      ZW      ZX      ZY      ZZ

## ATTACHMENT 4

To: City of Bonney Lake  
From: Ben Warren  
Re: Sound Credit Union Design Review

Following up on the pre-application meeting held on May 16<sup>th</sup>, 2019, Momentum would like to submit for Design Review the Sound Credit Union Bonney Lake branch. The branch is located at 20216 100<sup>th</sup> ST E, next to the Costco Wholesale. The site is located within the Midtown Core and is within commercial land use.

The branch is intended to serve current and new credit union members Monday – Saturday from 9AM -6PM (hours may vary). There will be in-branch services as well as a drive-up canopy for convenience. The car queuing is more than adequate on the site. The design is intended to be a forward-thinking branch with a member-centric service model while meeting the design standards of the City.

The building is ~19' tall, which is under the allowable height. The building is ~2540 SF and sits on ~.95 of an acre. There is ample parking and landscaping onsite to meet requirements. The look and feel of the building is that of northwest contemporary and compliments the community.

We appreciate your consideration hope we can begin work on this project in 2020

Thank you

Ben Warren  
Director of Preconstruction Services  
[bwarren@momentumbuilds.com](mailto:bwarren@momentumbuilds.com)

1520 4th Ave., Suite 300  
Seattle, WA 98101  
T 206.267.1900 Ext 119  
D 206.787.8094  
C 206.930.7280

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**STATE ENVIRONMENTAL  
POLICY ACT**

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**NOTICE ADOPTION OF EXISTING ENVIRONMENTAL DOCUMENT**

**Adoption of:** Environmental Impact Statement

**Description of proposal:** Construction of an approximately 2,540 square foot Sound Credit Union along with associated on-site improvements on a 0.95 acre property.

**Applicant:** Ben Warren

**Location:** 20216 98<sup>th</sup> Street East

**Document Adopted:** The Draft Environmental Impact Statement (DEIS) and Final Environmental Impact Statement (FEIS) for the WSU Project Site

**Document Prepared By:** City of Bonney Lake

**Document Date:** DEIS – August 2009 and FEIS – November 2009

**Description of Document:** The DEIS and the FEIS for the WSU Forest Site evaluated the construction of 30 acres of commercial development.

The above reference document has not been challenged and is available for public review during normal business hours at the City of Bonney Lake Public Services Department, at 9002 Main Street East, Suite 300 Bonney Lake, WA. The City of Bonney Lake has identified and adopted this document as being appropriate for this proposal after independent review. The document meets the City’s environmental review needs for the current proposal and will accompany the proposal to the decision maker.

**Responsible official:** Ryan Johnstone, P.E  
**Title:** Public Services Department Interim Director  
**Phone:** 253 447-4347  
**Email:** [johnstoner@cobl.us](mailto:johnstoner@cobl.us)  
**Address:** P.O. Box 7380, Bonney Lake, WA 98391-0944

Signature:

**December 20, 2019**

Date:

For any questions regarding this project, please contact:  
 Jason Sullivan – Planning & Building Supervisor  
 Phone: (253) 447-4350  
 Email: [sullivanj@cobl.us](mailto:sullivanj@cobl.us)  
 City of Bonney Lake  
 9002 Main Street East, Suite 300  
 P.O. Box 7380  
 Bonney Lake, WA 98391

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## Critical Areas Review Decision

**Date of Issuance:** February 17, 2017  
**Project File Number:** PLN-2016-01988  
**Project Name:** WSU Forest  
**Applicant:** Weyerhaeuser  
**Project Site & Tax Parcel:** WSU Demonstration Forest  
 Tax Parcel Number: 0519031027, 0519031028, 0519034037 through 0519036039, and 0519036042 through 0519036056

**Description of the Project:** The former WSU demonstration forest is subject to a 2009 Development Agreement that calls for the development of 47.4 acres of public park lands, 35 acres of commercial development, and 64.7 acres of residential development.

**Decision:** **The City accepts the findings of the Critical Areas Report.** The qualified professional hired by the applicant to evaluate the site has demonstrated, after adequate investigation, that the site is not a critical aquifer recharge area. The site is underlain by glacial till (hardpan), which has a low permeability that impedes the downward migration of infiltrated surface water into the aquifers.

**Responsible Official:** **Jason Sullivan, Planning and Building Supervisor**



Signature:  Date: 2/17/17

**For any questions regarding this project, please contact:**  
**Jason Sullivan, Planning and Building Supervisor**  
 City of Bonney Lake  
 9002 Main Street East, Suite 300  
 P.O. Box 7380  
 Bonney Lake, WA 98391  
 Email: [sullivanj@ci.bonney-lake.wa.us](mailto:sullivanj@ci.bonney-lake.wa.us) Phone: (253) 447-4355

**THIS DECISION MAY BE APPEALED** to the City of Bonney Lake Hearing Examiner. Please refer to BLMC 14.120.020 for appeal procedures. A complete appeal application and fee shall be received by the Public Services Department prior to the close of business February 28, 2017. Any appellant should be prepared to make specific factual objections.

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PROJECT NAME <b>Locust Avenue 4-Plex</b>	FILE NUMBER <b>PLN-2019-02277</b>	HEARING/MEETING DATE <b>February 12, 2020</b>
STAFF CONTACT <b>Nate Schildmeyer</b>	PROPERTY OWNER <b>Garry Sondergaard</b>	APPLICANT <b>Same as Owner</b>
ADDRESS <b>8501 Locust Ave. E.</b>	TAX PARCEL(S) <b>5350000080</b>	
ZONING DESIGNATION <b>R-3</b>	LAND USE DESIGNATION <b>High density residential</b>	SUBAREA <b>Downtown</b>
BRIEF SUMMARY OF REQUEST <b>Approval of design review for construction of a new 4-plex building at a site that already has two (2) occupied 4-plex buildings. The total residential density of the development will be increased by construction of this building from approximately 12 units per acre (8 units/.6 acres) to 20 units per acre (12 units/.6 acres). Construction, as proposed, will constitute a Type II remodel per the requirements of the City's adopted Downtown Design Standards.</b>		
COMPREHENSIVE PLAN CONSISTENCY <b>The proposed addition of the new multi-family building at this site is consistent with the adopted comprehensive plan <i>Bonney Lake 2035</i>, and if the proposed conditions of approval are applied to this approval the proposal will be consistent with the adopted downtown standards and adopted Centers Plan for downtown (north downtown area) as well.</b>		
DEVELOPMENT CODE CONSISTENCY <b>The proposal is consistent with the zoning of the property which is "R-3, high density residential." The currently-established use of the site (multifamily) is conforming and permitted by the City's land use regulations, and expanding the use as proposed is acceptable under the density requirements for the zone. With the adoption of the proposed conditions of approval, the proposed development will comply with the Downtown Design Standards, adopted by reference in BLMC 18.35.010, and as modified in BLMC 18.35.020.</b>		
RECOMMENDED ACTION <b>Approve the design review application subject to incorporation of the recommended conditions of approval contained on page 12 of the staff report.</b>		
ALTERNATIVE ACTIONS <b>The Director may choose alternative actions, including:</b> <ol style="list-style-type: none"> <li><b>1. Approval of the design review application with additional or modified conditions of approval based on the recommendation(s) of the design commission.</b></li> <li><b>2. Deny the design review application.</b></li> <li><b>3. Upon the recommendation of the design commission, require substantial changes to the proposal and require a resubmittal of a revised proposal for consideration at a future date.</b></li> </ol>		
PLANNING AND BUILDING SUPERVISOR APPROVAL   <b>Jason Sullivan</b>		
		<b>February 5, 2020</b> Date
ATTACHMENTS <b>1. Site Plan</b> <b>2. Landscaping Plan</b> <b>3. Building Elevations and Detail Sheets</b>		

## I. BACKGROUND

### A. Site Characteristics

The site in question is a developed apartment complex that currently includes two 4-unit apartment buildings, areas of landscaping, and parking/driving areas that serve the existing buildings. Locust Avenue East runs north-to-south along the eastern edge of the property, and established multifamily apartment developments are located to the north and the south of this site. A stormwater pond is located directly to the west. Along the southern edge of the site, there is a large established hedge that has grown up around an existing separating fence that creates a full visual separation between the two apartment complexes, and the hedge will remain in place.

### B. Surrounding Properties

As mentioned above, the subject property is bordered on the north and south by existing apartment complexes. To the rear of the subject property (west) is an existing City stormwater pond. Along the eastern edge of the site is the Locust Ave. E. right-of-way, and across the street (east) is a single-family dwelling.

Direction	Land Use Designation	Zoning	Existing Use
North	High Density Residential	R-3	Multifamily
South	High Density Residential	R-3	Multifamily
West	Low Density Residential	R-1	Public Infrastructure (stormwater pond)
East	Low Density Residential (other side of Locust Ave. E. right-of-way)	R-1	Single Family Residential

### C. State Environmental Policy Act (SEPA)

The proposed development is exempt from SEPA, per the exemption provided for in WAC 197-11-800(1)(b)(ii).

### D. Shoreline Code

The site of this proposal is not within the shoreline jurisdiction.

### E. Critical Areas Code

The proposed project area does not include any known critical areas, and is exempt from the requirement to provide a Level 1 or Level 2 Hydrogeologic assessment pursuant to BLMC 16.24.030.A.

### F. Processing Background

The applicant had a pre-application with City staff on February 26, 2015 to discuss the proposal. The initial design review application materials and fees were submitted to the City on March 7, 2019 and the application was deemed complete for review on April 4, 2019. Notice was posted and distributed on April 5, 2019 and the required comment period ran through 5 p.m. on April 22, 2019. The City issued review comments based on the materials received as a part of the initial submittal in a letter provided to the applicant on May 21, 2019, and held a subsequent meeting with the applicant to discuss those comments on June 18, 2019. Revised materials were received by the City's permit center on November 6, 2019. As of the date of the scheduled design commission meeting, this application will have been in review for 93 days, calculated using the methodology found in the Bonney Lake Municipal Code (BLMC) Chapter 14.10.

### **G. Public Outreach**

As mentioned above, proper notice of this proposal was provided per BLMC 14.50.010 and there was a public comment period that was provided per the requirements of BLMC 14.50.040. The Design Commission meeting will be conducted as an open public meeting, and any interested party may attend and give testimony.

## **II. PROJECT SUMMARY**

The proposed development would include construction of a new two-story 4-plex multiunit building at a site with two similar existing buildings already constructed and occupied on the site. The proposal will also make alterations to the site to accommodate additional vehicle parking requirements, replace the current garbage/recycling collection enclosure with a new enclosure in a revised location, and will make other improvements such as adding developed recreational spaces at two locations around the property. There will be a direct pedestrian connection installed between the existing sidewalk on Locust Ave. E. and the courtyard adjacent to the new building, and additional landscaping will be planted in the areas of the new development.

## **III. ANALYSIS**

Design review is required for all property improvements, except for those identified in BLMC 14.95.020. This proposed project does not meet one of the exemptions provided in BLMC 14.95.020 and therefore is required to go through the design review process. As a development located within the designated downtown standards applicability zone (see *Figure 1*, next page), design review is an important step in ensuring that the planned development is consistent with the City's vision for this subarea of the City. In the **Purpose** section of Chapter 14.95, it specifies that one of the purposes of the design review process is to implement "land use policies and regulations, including the downtown design guidelines."

The most-relevant regulatory requirements and design standards applicable to the project under review are primarily found in the following chapters of the BLMC:

- Chapter 18.18 – R-3 High-Density Residential District
- Chapter 18.22 – Residential Development Standards

- Chapter 18.35 – Downtown Design Standards. This section of the municipal code adopts and modifies the ‘stand-alone’ downtown design standards document that is discussed in greater detail later in this section. The image below (*Figure 1*), taken from the downtown design standards document, shows which properties within the City these standards apply to. The subject property is highlighted.

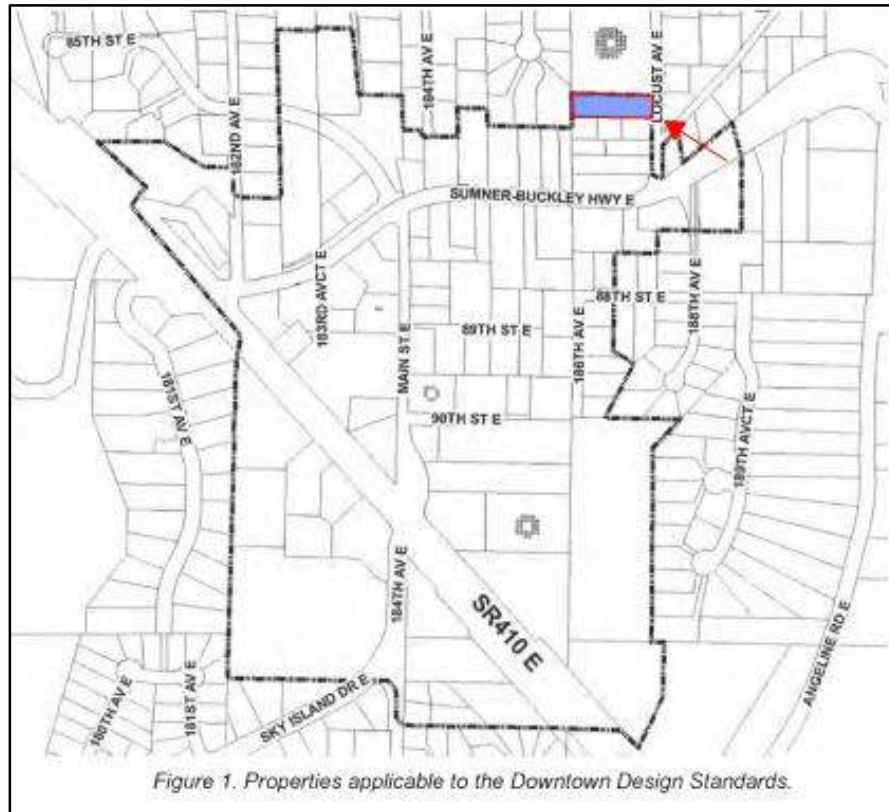


Figure 1. Properties applicable to the Downtown Design Standards.

- Chapter 16.14 – Landscaping

The following is a more specific analysis of how these regulatory sections apply to this proposal.

**A. Bulk, Setback, Zoning, and Use Requirements (Chapter 18 BLMC)**

**1. BLMC 18.08.020 Land Use Matrix**

This section of the City’s municipal code (BLMC) specifies allowed uses within the various zoning-designated areas of the City. Among the permitted uses within the R-3 zone are “apartments/condominiums,” which is the established use at the site where the new apartment building will be built. The existing use being conforming within the zoning-designated area in question, the proposed expansion of that use will remain conforming per these allowed uses.

**2. Chapter 18.18 BLMC R-3 High-Density Residential District**

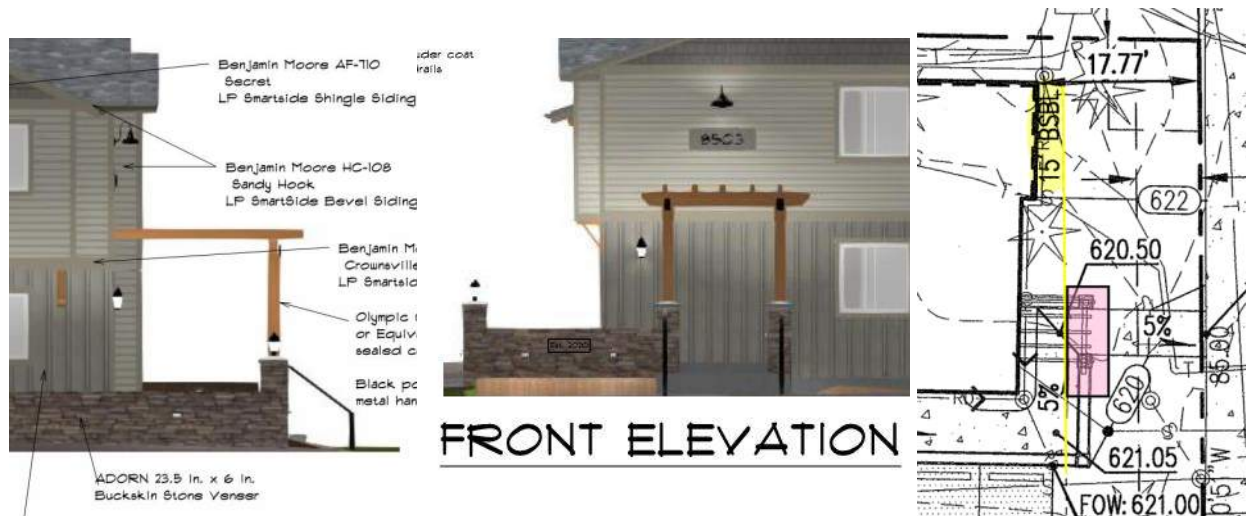
This section of the BLMC states the setback and bulk regulations within the R-3 zoning district, states the general intent for properties within these zoning areas, specifies allowed accessory structures, and provides requirements for “multiple dwelling outdoor recreation area(s).”

**Intent:** The intent of this zoning designation is “to provide appropriately located areas for multifamily living at densities above 10 units per acre to meet the needs of households with a variety of income levels and lifestyles.” This high-density development is also intended to help the City provide adequate utility and transportation services to the residents of these areas by clustering residential units within areas of the City where the City can ensure effective and efficient services.

**Density:** The “setback and bulk regulations” for this zone are listed in BLMC 18.18.050. This section requires a minimum density of 10 units per acre, a requirement that is currently met and will remain satisfied once the proposed 4-unit building is constructed. The current density at the site is approximately 13 units per acre (8 units/.6 acres), and once the new units are constructed that density will increase to 20 units per acre (12 units/.6 acres).

**Side Setbacks:** The side yard setback requirements for the zone are a minimum distance of 5 feet from the property line (both sides) and a total of 15 feet of combined setback distance. The resubmittal received in November demonstrates compliance with this side yard setback requirement related to the north and south property boundaries<sup>1</sup> (minimum 5/total 15+). The new building will maintain five (5) feet of distance from the northern property line, and the proposed re-located garbage/recycling enclosure structure will have a separation distance of 14’ 6” from the south property line (see site plan, Attachment 1).

**Front Setback:** The front setback requirement of “15 feet from the right-of-way” is not met in this proposal, and implementation of one of the proposed conditions of approval (Condition 1) will be necessary to bring this proposal into compliance with BLMC 18.18.050.B. The proposed development includes construction of a trellis-entry oriented towards the Locust Ave. E. right-of-way to accentuate the entry to the courtyard that is being installed adjacent to the exterior of the structure in order to meet the requirements of the downtown design standards (discussed further below). The issue with the addition of this feature is that the trellis involves structural elements that encroach into this required 15-foot front setback, as shown in the images below:



<sup>1</sup> Per the definitions found in BLMC 18.04.190, the north and south lot lines require a “setback, side” distance. This property’s “setback, front” distance is along the eastern property line, and the “setback, rear” requirement extends from the western lot line.

Since the downtown design standards require the addition of a decorative courtyard entry feature like the one being proposed, but the proposed horizontal posts encroach into the required front setback, City staff feels that it is appropriate to approve the design of the feature being proposed, but to require that the structural elements be modified to meet the setback requirement.

The proposed trellis can be brought into compliance with the setback requirement if the support posts closest to Locust Ave. E. (highlighted in the image above) are installed 15 feet back from the property line. The lateral elements of the trellis can still encroach into the setback up to a maximum of 30 inches, but the posts must be set back in compliance with the front setback requirement of the code. A prospective solution is represented in *Figures 2 and 3*, included below:

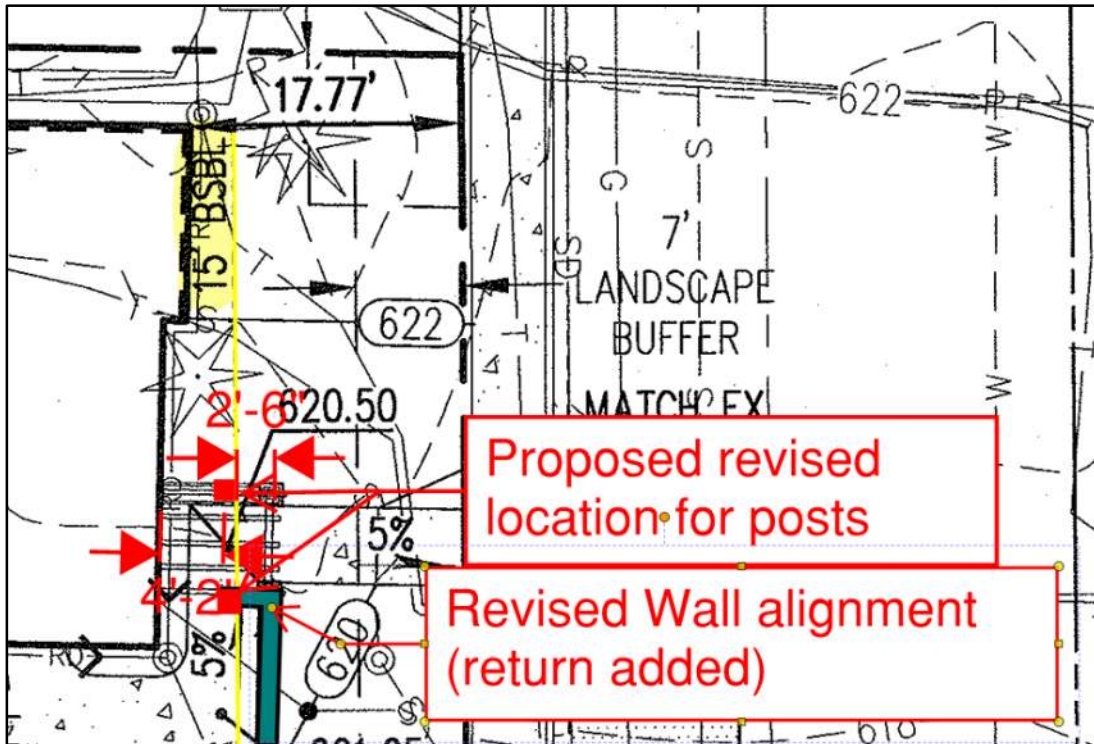


Figure 2

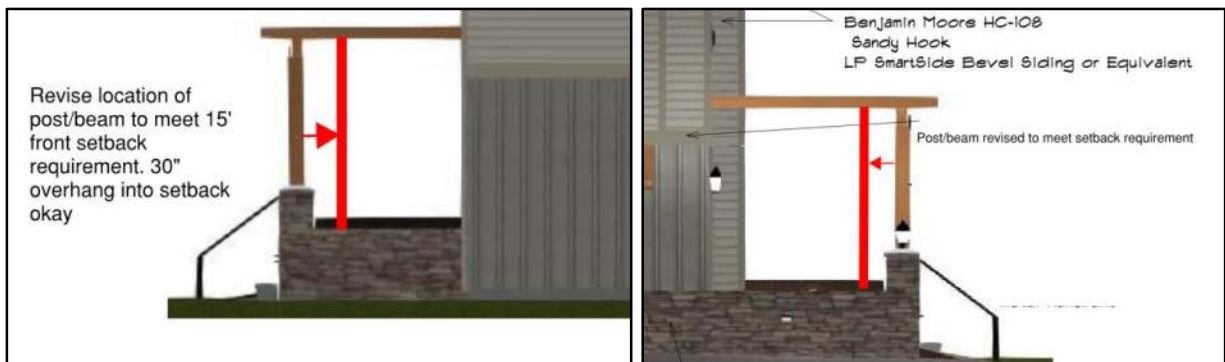


Figure 3

In the proposal represented in *Figures 2 and 3* above, the posts (represented as two red squares) are moved back behind the 15 foot setback that is required, and the 2' 6" (30 inches) overhang of the

horizontal structural elements extend into the setback in a way that is allowed under BLMC 18.22.080<sup>2</sup>. This proposal is only intended to provide one example of how the front setback requirement might be accommodated with minimal changes to the overall design of the proposal—City staff recommends that the trellis be retained as a part of the approval with minor modifications that bring it into line with the requirements of the code.

**Multifamily Development Outdoor Recreation Area:** All multiple dwelling projects in the R-3 zone require the provision of outdoor recreation areas in compliance with BLMC 18.18.080. This section of code requires that at least 20 percent of the total land area of a site be maintained as pervious open space, landscaping or recreation areas, and at least 10 percent of the land area of the property be “developed for recreational use.” This “developed” recreational area constituting 10% of the site’s total land area should require, for this project, a minimum of **2,584 square feet** of area. The code (BLMC 18.18.080.C) also specifies that such developed recreational areas be “accessible and usable,” “free of involvement with any parking or vehicular traffic whatsoever,” and not be regulated critical areas.

The proposal designates two areas of the site as the “developed recreational areas,” and the combined area of these two areas of the site meets the minimum required (see *Figure 4*); however, it is the opinion of staff that these two areas do not

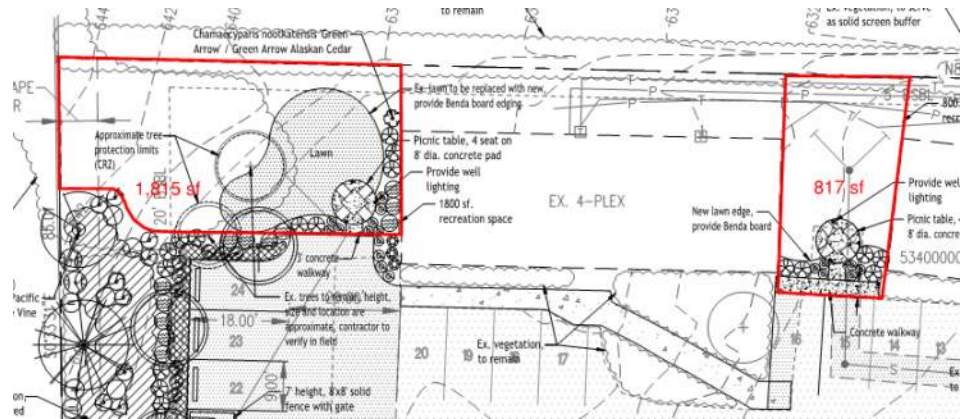


Figure 4

meet the requirements related to being “developed for recreational use.” The applicant’s plans also refer to the courtyard adjacent to the new building as “480 sf. recreation open space,” but no description of what development features are involved or what recreation might take place there. Under the current proposal, each of the two recreation areas (other than the courtyard) would include a picnic table with attached seating. While this improvement might be adequate if provided in conjunction with a community barbeque facility, it is the opinion of the City that seats and tables on their own do not constitute developed recreational facilities. City staff feel that it is important that the developer provide additional recreational features such as a children’s play area with a ‘big-toy,’ a community gardening area, a barbeque shelter, or some other type of recreational development that will satisfy the requirements of this code section.

### 3. Chapter 18.22 BLMC Residential Development Standards

<sup>2</sup> BLMC 18.22.080 Yard Projections states that “[E]very required front, rear and side yard shall be open and unobstructed from the ground to the sky,” except for roof overhangs up to a maximum of 30 inches, open, unenclosed, unroofed decks constructed at grade elevations no closer than 5 feet from a property line, and fences. The provision for up to 30 inches of allowed roof encroachment would, in this case, apply to the horizontal trellis structural elements.

Aside from the requirements mentioned in the previous section related to the allowed setback encroachments, the other relevant section within this chapter is **BLMC 18.22.100 Off-street parking and loading requirements**. This section requires that two parking stalls per residential unit be provided, and this numeric requirement is met with the proposed provision of eight (8) new stalls, shown on the plans provided as compact (8' x 16') parking stalls. The final configuration, as shown, meets the basic parking provision requirements<sup>3</sup> and, subject to BLMC 18.22.100.B.2, a detailed parking plan must be submitted and approved by the director “prior to the issuance of a building permit for a multiple dwelling unit.”

## **B. Downtown Design Standards**

As demonstrated in Figure 1 of this report, the site of the proposed development is within the designated downtown subarea of the City and is subject to compliance with the Downtown Design Standards, which are adopted in BLMC 18.35.010 and modified in BLMC 18.35.020. Below is a discussion of how the requirements of the design standards relate to this proposal. Numbering conventions referenced are as they appear in the downtown design guidelines document.

As stated in part 1 of the document, “site planning standards for downtown properties typically vary depending on the type of street the property fronts on.” In this case, Locust Ave. E. is designated as “Other Streets<sup>4</sup>.” Due to this designation, the applicable criteria within section 1 of the document are found in section **1.1.4 Properties adjacent to all other streets**. This section requires that the area between the back of the existing sidewalk and any building or parking area include trees at a ratio of at least 1/300 square feet. With the retention of the existing, mature conifers as proposed, along with the planting of street trees shown on the landscaping plans provided (see Attachment 2), this requirement is satisfied.

The proscriptive landscaping ratio of one shrub per 20 square feet of landscaped area in 1.1.4.a.ii is not met, and it appears that the ratio provided is closer to 1 shrub per 33 square feet of area, with groundcover closer to the right-of-way and the shrubs planted further back towards the new building. In spite of this, this plan should be considered for approval by the design commission due to the fact that the “Alternatives” section of 1.1.4 allows for alternatives that do not meet the requirements where a “attractive, safe, and comfortable pedestrian environment that is consistent with the goals and objectives of the Downtown Plan” is achieved. This proposal retains the large conifer trees at the site to the maximum feasible and, with the retained trees, provides more trees than required and creates an attractive pedestrian environment adjacent to the City’s sidewalk and the courtyard entry of the new building. In addition, implementation of this landscaping plan will maintain visual access between the dwelling units and the street, as required in 1.1.4.b. Also, the arrangement of the shrubs closer to the

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<sup>3</sup> The parking stalls that are not being revised or altered by this proposal are not being reviewed for compliance with the applicable standards, and may not meet the size requirements. In addition, section BLMC 18.31.010.H.3 specifies that residential uses within the downtown area (as shown in Figure 1 of the downtown standards and in this report) provide standard parking stalls at a minimum width of 8' 6", and compact stalls at a minimum width of 8 feet.

<sup>4</sup> See Figure 7. Downtown Street Types in the downtown standards document.



building's wall functions to assist in treating the 'blank wall' issues regulated in section 1.1.5, that were an issue in the original submittal but are now satisfied in the resubmittal<sup>5</sup>.

Three other standards found in this section (1.1.4) pertaining to this proposal have bearing on this proposal as well. These are:

***1.1.4.c Parking lots shall be located to the side or rear of buildings. Parking lots may not be located adjacent to street corners.*** This requirement poses a challenge on this small site due to the layout of the existing development and orientation of the parking and the existing head-in arrangement facing towards the other two existing buildings. In order to deal with this, the applicant's resubmittal shows that they have endeavored to create a functional, attractive courtyard that meets the definition of the downtown standards<sup>6</sup> while at the same time making the building, by means of the attached trellis, separation wall, and pedestrian connection to the Locust Ave. E. sidewalk appear oriented towards the street even though the building's shared entry faces south in line with the two other existing buildings.

***1.1.4.d All buildings must provide entries facing the street...[B]uildings organized around a courtyard may feature entrances facing the courtyard provided there is clear pedestrian access between the courtyard and the street.*** As discussed above, the resubmittal includes creation of a courtyard space outside of the building along the south and east of the new proposed structure in an attempt to meet this requirement. Due to the small site and the configuration of the existing parking, vehicle circulation route, and buildings, the proposed building's dimensions cannot be installed facing the Locust Ave. E. right-of-way. Since the emphasized pedestrian entry faces towards Locust Ave. E. with the overhead trellis and provides a clear connection to the City sidewalk, this criteria is met even though the building entries to the individual units face south, out into the courtyard.

***1.1.4.e At least 15% of the building facades (for all uses) must be transparent.*** In using the elevation drawings (see Attachment 3) provided in the resubmittal to measure the size of the windows provided as they relate to the sizes of the four facades<sup>7</sup> of the structure, it does appear that the windows provided on the west and south sides meet the 15% transparency requirement, but the combined total for all four sides will not meet the 15% requirement for transparency. A condition of approval (Condition 5) that is suggested is that the applicant be allowed to design the building to incorporate larger-sized windows to meet this requirement.

**Section 1.4** of the downtown standards includes requirements related to **Service Elements**. Specifically, these requirements relate to siting and design of trash and recycling enclosures such as the new one proposed for this development. The current enclosure is located between the two existing buildings, in the location where one of the two developed recreational areas will be located. In the resubmittal materials provided, the applicant has included a design detail of the proposed enclosure (see *Figure X*, next page) that does not demonstrate compliance with the requirements of downtown design standard

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<sup>5</sup> See specifically 1.1.5.d, which lists one method to treat blank walls as "landscape planting bed at least 5 feet...in front of the wall with planting materials that are sufficient to obscure or screen at least 60% of the wall's surface within three years."

<sup>6</sup> "Courtyard" is defined in the downtown standards document as "A landscaped space enclosed on at least three sides by a single structure." In this case, the wall, trellis, and new building are all contiguous to one another surrounding the area of the courtyard.

<sup>7</sup> "Façade" is defined in the standards as "Any portion of an exterior elevation of a building extending from the grade of the building to the top of the parapet wall or eaves, for the entire width of the building elevation."

1.4.1.a or 1.4.1.b<sup>8</sup>. The proposed location does meet the setback requirements found in Chapter 18.18 BLMC (discussed previously in this report), and complies with the **Location** provision of downtown standard 1.4.2<sup>9</sup>.

The **Pedestrian access and connectivity** requirement of downtown standard **2.1.2.a**, which states that “[A]ll buildings must have clear pedestrian access to the sidewalk,” is found to apply to this proposal and is found to be satisfied by the proposed walkway linking the courtyard to the City’s sidewalk.

The downtown standards include specific requirements for **Open Space and Recreation for Residential Uses** in **section 2.3**, which are in addition and supplemental to the requirements of BLMC 18.18.080 that were previously discussed. Section 2.3.1 requires at least 200 square feet of open space per unit be provided (2,400 square feet for the development as a whole), which is met. The lack of improvements within the “developed recreational areas” was already discussed, but this section of the downtown standards specifically states that “spaces shall feature paths, landscaping, seating, and lighting. Other amenities that make the area more functional and enjoyable are encouraged<sup>10</sup>.” With the addition of additional amenities and improvements for recreational use within the two designated areas on the site, the proposal will be compliant with section 2.3 of the standards.

The downtown standards also include requirements related to **Building Details** in **section 4.3**. Section 4.3.1 includes a “details toolbox,” and new residential multifamily buildings are required to include at least two of the elements listed. This building includes decorative lighting in the courtyard areas around the façade of the new building, along with changes in the roofline, architectural details, and articulation of the façade that make this an attractive structure on the site. There is also a trellis (though no landscaping or planting is specified) that emphasizes the pedestrian entry/connection to the Locust Ave. E. sidewalk that will make this unique and attractive from the right-of-way. The requirements of this section are met.

The **Exterior Building Materials and Color** section of the downtown standards (**section 4.4**) include specific requirements for the exterior construction materials used in building proposed structures within

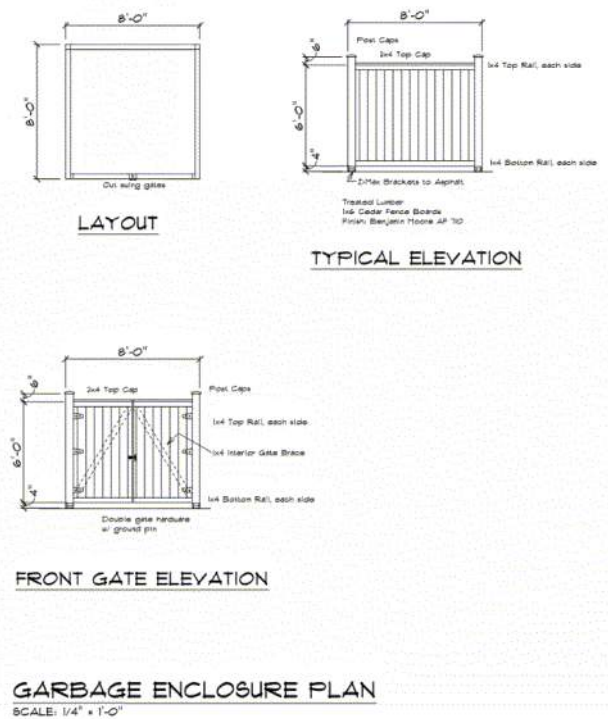


Figure 5 - NTS

<sup>8</sup> These standards, taken together, require that the enclosure be enclosed by a wall or fence at least 7 feet high, concealed on the top, should have self-closing doors, and be constructed of similar materials and be architecturally consistent with the primary structure. Masonry, ornamental metal, or wood are listed as acceptable materials.

<sup>9</sup> The location requirement requires that such structures be located in a way that minimizes impacts on pedestrian spaces and is accessible to service vehicles, while being convenient for tenant use. This proposal meets these standards.

<sup>10</sup> Downtown standard 2.3.1.a.iv

the downtown area. For the most part, this project does a good job of alternating wooden lap- and shingle-siding types and colors in a way that meets the requirements of the code, and avoids “bright” colors as required in standard 4.4.5. The proposal does include the use of textured plywood on the ground level of each building facades (see Attachment 3, building elevations), and the use of such material is specifically prohibited in section 4.4.6.b. A condition of approval (Condition 3) is included in this report that would require that the ground level plywood siding be replaced with an alternative that meets the requirements of the downtown standards, while retaining the general aesthetic of what has been presented in this application.

The applicable landscaping requirements of the downtown standards found in sections **5.2.3, 5.2.4, 5.2.6, and 5.2.7** are all applicable to this project and are met by the proposed landscaping plan included with this report as Attachment 2; however, in each case the requirements that the project must meet are covered in the discussion of compliance with the landscaping section of the municipal code, 16.14 BLMC, which follows below.

### ***C. Clearing and Landscaping (Chapters 16.12, 16.13, and 16.14 BLMC)***

#### ***1. BLMC 16.14.040 General Requirements***

The general requirements of the landscaping section of the BLMC are met by the proposed landscaping plan (see Attachment 2). Specifically, the landscaping plan was prepared by a registered landscape architect and all portions of the site that are not being used for buildings, vehicles, or other purposes are being landscaped or existing landscaping is being retained. The requirements of Table 16.14A which specifies buffering requirements around particular site development features and between uses is met.

The total landscaped areas of the site once the new building and improvements are added will 8,609 square feet of landscaped area, which constitutes 33.3 % of the lot area total.

#### ***2. BLMC 16.14.070 Description of landscape standards***

This section describes the requirements for landscape buffers that are required within the site per Table 16.14A and between zoning areas per Table 16.14B. In the case of this development, an L-3 standard landscape buffer is required where the site abuts the R-1 zoning to the west. That standard is met in the landscape plan provided (see Attachment 2), except for the fact that the proposal detail sheet calls out 3-gallon containers, where 5-gallon container sizes at the time of planting are required (per BLMC 16.14.070.C.1.a. Five-gallon size plants will be required, unless the applicant can demonstrate that they are unavailable at the time of installation, in which case the City will allow for three-gallon plants to be used. Table 16.14B does not specify required landscape buffering between the subject property and the R-3 zoned properties to the north and south.

#### ***3. BLMC 16.14.150 Street frontages***

The City’s standards for street frontages include requirements for the installation of street trees along street frontages, and this proposal will provide two new street tree specimens that the City’s arborist

has deemed acceptable, along with retaining at least four mature evergreens in between the new building and the back of the sidewalk. The landscaping and trees provided within the area along the site frontage will preserve and enhance the valuable and aesthetically-pleasing vegetation in the frontage areas along Locust Ave. E.

#### 4. **BLMC 16.14.170 Parking lot landscape standards**

BLMC 16.14.170.2.a provides a specific requirement for sites where “a new building is constructed on a site with a preexisting parking lot, the parking area landscape standards herein shall apply to a portion of the parking area sufficient to meet the minimum required parking for the new building and to any additional parking area proposed by the applicant to serve the building.” In this case, the parking that is already existing in the ‘head-in’ parking arrangement for the existing buildings is not bound by these parking lot landscape standards, but the requirements of this section do apply to areas adjacent to the new building and the new parking stalls oriented towards the west on that end of the site.

The current landscaping proposal meets the requirements of BLMC 16.14.170.B. The site has plenty of trees (more than the minimum of one tree per 3,000 square feet of paved area) within close proximity to the new/revised parking areas provided as required. In addition, there is an existing fully-screening hedge on the southern property line that has grown over an existing low fence that fully shields the apartments to the south visually from the parking area for this development. The other requirements of BLMC 16.14.170 are also met, and the only one that bears discussion is BLMC 16.14.170.D.3 as it relates to the parking area abutting the courtyard adjacent to the new building. In that location, the requirement for the perimeter parking area landscaping requires an L-2 standard (low screen) landscape buffer. The L-2 standard description in BLMC16.14.070.B.2 allows for the use of a “masonry wall, solid wood fence, or a berm between 30 and 42 inches high” as a substitute for low shrubs. The wall that is being installed to create the courtyard will shield the new residential building from headlights as vehicles pull in to park after dark, and will also function as a container to include attractive plantings of ‘*Ophiopogon japonicus*’ along the top, as shown below in *Figure 6*.

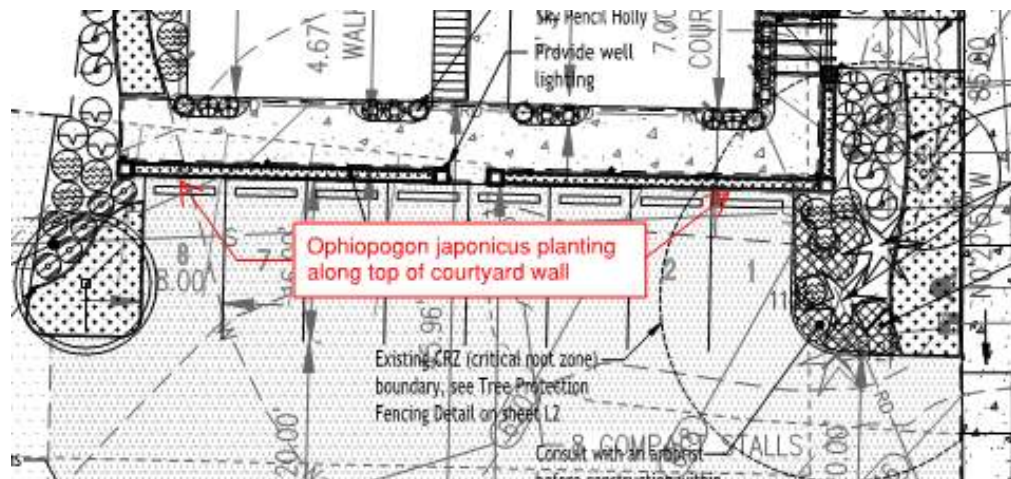


Figure 6

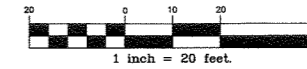
## IV. CONCLUSION

Based on the above analysis, the design review is consistent with the applicable City development regulations provided that the conditions of approval listed below, as recommended by City staff and the Bonney Lake Design Commission, are adopted as conditions of approval for the project:

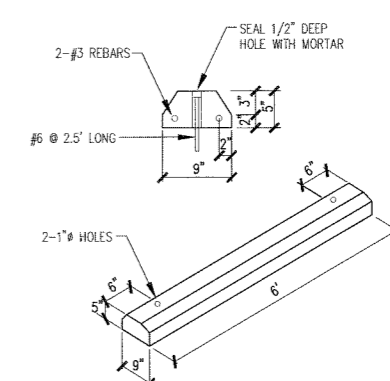
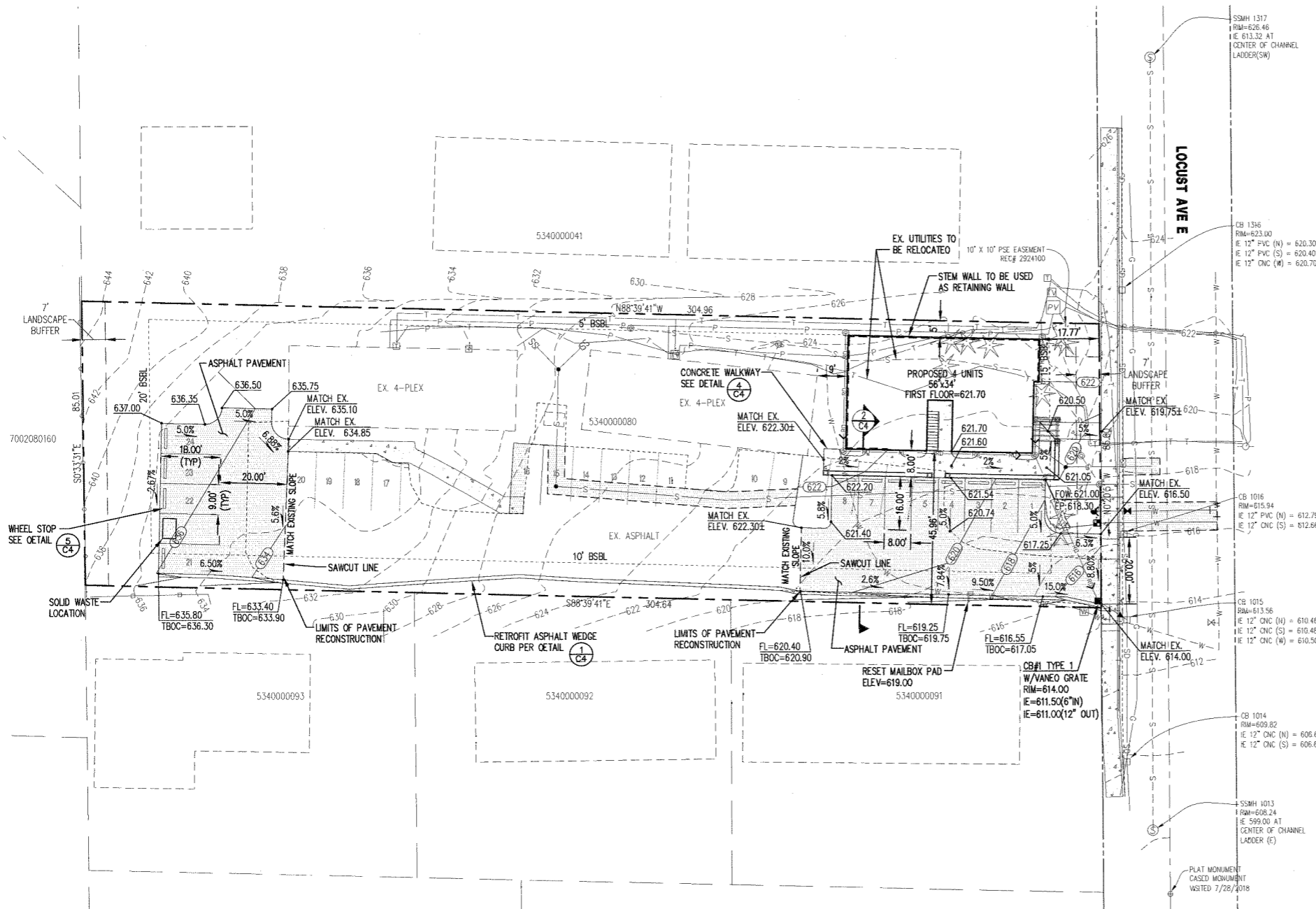
1. The supporting posts for the proposed pedestrian entry-trellis oriented towards Locust Ave. E. shall be installed in compliance with the front setback requirements for the zone (fifteen feet back from the property line). The horizontal trellis elements may encroach into the setback up to thirty (30) inches into the setback, per BLMC 18.22.080.
2. The Applicant shall submit a photometric plan along with the lighting schedule (or a fixture-list) and cut sheets for all exterior lighting as part of the building permit application demonstrating that the lighting level at the property lines are 0.1 lumens or less, that there is no safety/nuisance off-site light overspill into the adjacent right-of-way or onto the neighboring properties. All exterior lighting fixtures installed shall be dark sky compliant.
3. The proposed use of “LP Smartside Board and Batten Siding or Equivalent” exterior siding materials does not comply with the requirement of Downtown Design Standard 4.4.6. When the building permit application is submitted, there will be a revision of the siding materials for these sections of the building’s exterior. Exterior colors shall remain as shown (or substantially similar) in the application materials.
4. A parking/vehicle circulation plan shall be submitted at the time of building permit application as a part of a complete permit application, and shall be approved by the director prior to issuance of a building permit, pursuant to the new and revised areas of the existing development that will be altered by this project.
5. In the building permit application, the applicant will provide calculations and scaled elevation drawings that demonstrate compliance with standard 1.1.4.e, the requirement that 15% of the total structural façade is transparent. It will be an acceptable change to increase the sizes of the windows shown in the elevations provided with this application to meet the 15% requirement on all sides (combined).
6. The garbage/recycling enclosure proposed shall be redesigned to be consistent with the architecture of the new primary structure, to include the use of similar building materials and detailing, and shall be enclosed and screened around the perimeter by a wall or fence at least seven feet high, shall be concealed on top, and should include self-closing doors. A separate building permit application will be required for construction of the garbage enclosure.
7. Any/all signage will require a separate permit and will be reviewed for approval at that time.

# Attachment 1

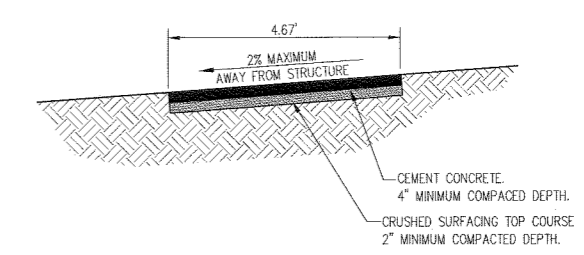
## BONNEY LAKE 4-PLEX A PORTION OF THE SE 1/4 OF THE NW 1/4 OF SEC. 33, TWP 20 N, RNG. 5 E WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



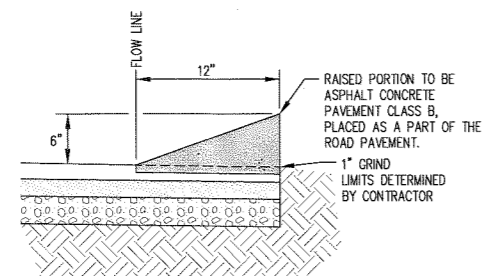
APPROVED  
BY \_\_\_\_\_  
CITY OF BONNEY LAKE  
CITY ENGINEER, PE  
DATE \_\_\_\_\_  
NOTE:  
This approval is void after 1 year from approval date. The City will not be responsible for errors and/or omissions on these plans.  
Field conditions may dictate changes to these plans as determined by the Development Review Engineer.



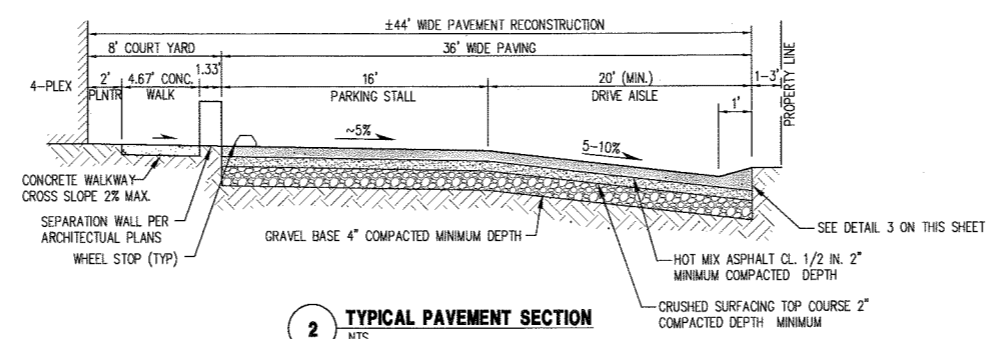
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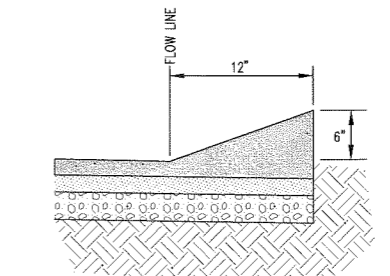
**4 CONCRETE WALKWAY**  
NTS



**1 RETROFIT ASPHALT WEDGE CURB**  
NTS



**2 TYPICAL PAVEMENT SECTION**  
NTS



**3 ASPHALT WEDGE CURB**  
NTS

**CALL 48 HOURS BEFORE YOU DIG DIAL 811**

FEATURES CONTAINED IN THIS DRAWING, INCLUDING BUT NOT LIMITED TO, BOUNDARY, RIGHT-OF-WAY, EASEMENTS, PARCEL LINES, BEARINGS, DISTANCES, WETLANDS AND BUFFERS, WERE DERIVED FROM PUBLIC RECORDS OR ACQUIRED FROM A THIRD PARTY. DRAWINGS SUPPLIED BY OTHERS.



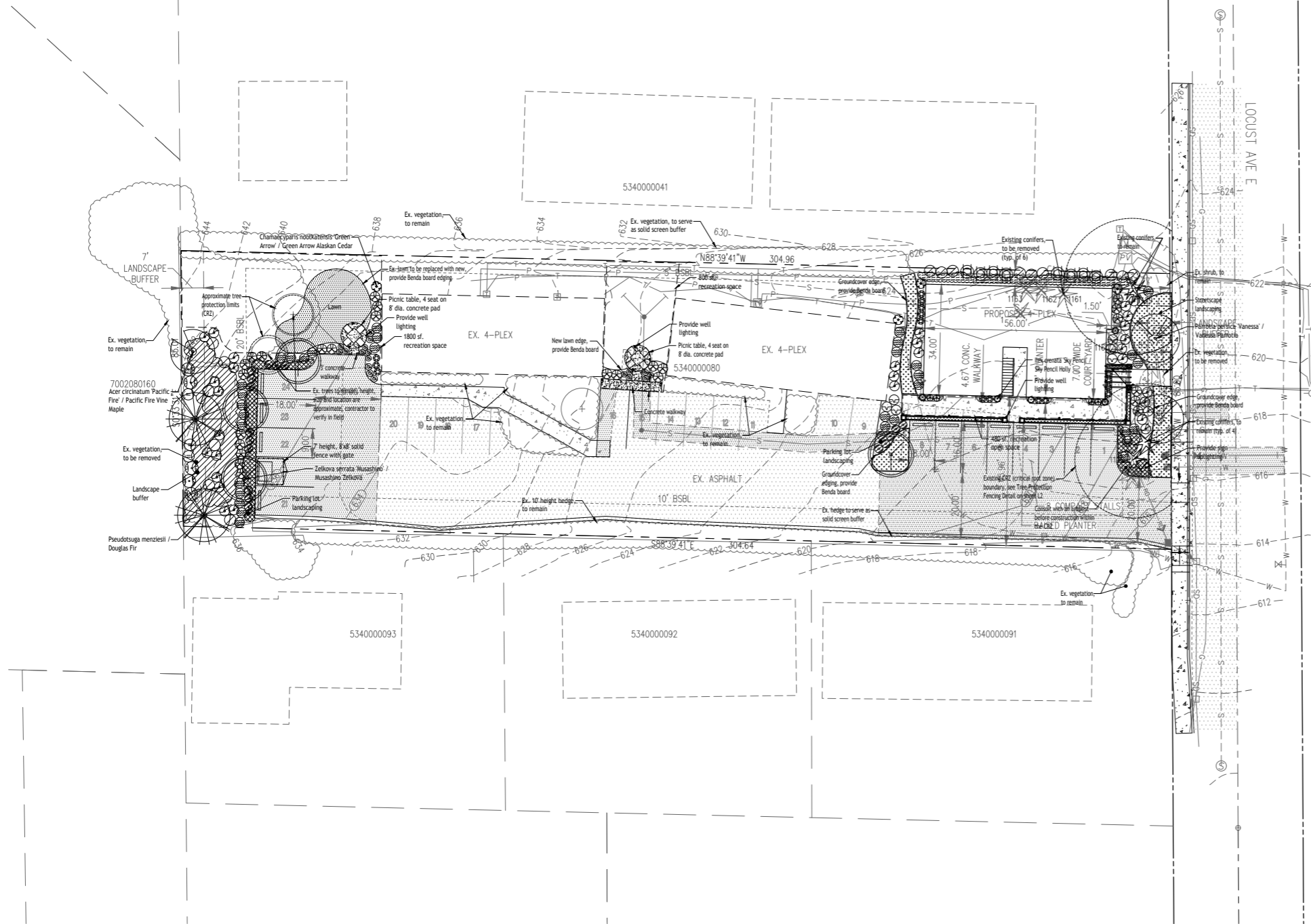
**C.E.S. NW INC.**  
CIVIL ENGINEERING & SURVEYING  
428 - 29TH ST. NE, SUITE D  
PUVALLUP, WA 98372  
PH: (253) 848-4882  
cesnw@cesnwinc.com

**BONNEY LAKE 4-PLEX  
PAVEMENT & GRADING PLAN**

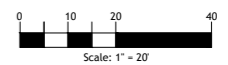
Project: **GARY SONDERGARD**  
Client: 19812 ISLAND PARKWAY E, BONNEY LAKE, WA 98391  
Designed: DPS  
Drawn: JEH  
Checked: DPS  
Scale: 1"=20'  
Date: 10/18/19  
Job No.: 18145  
Sheet No.: **C4**  
4 of 7 Sheets

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# Attachment 2 (2 Pages)



Vicinity Map  
NTS



**Landscape Plan**  
**Bonney Lake 4-PLEX**  
 8503 Locust Ave E, Bonney Lake, Wa.



Designed by:  
**ARW Landscape Design**  
 Amy Rusho Wolfe, PLA  
 7530 23rd St W, University Place, Wa. 98466  
 amy@arwlandscape.com, 253-223-1162

**GENERAL NOTES:**

1. All plans are drawn to scale. Location of new elements, such as planting beds, lawn areas and walkways are approximate.
2. ARW Landscape Design is not responsible for dead, dying or diseased plants or replacement of dead, dying or diseased plants.
3. Owner is responsible for obtaining necessary permit(s), and paying fees associated with said permit(s) and incurring fines and penalties for failure to do so.
4. Call 1-800-424-5555 or 811 to locate underground utility lines before construction commences.

Revised on:		Project #:	1907
Revised on:	x	Date:	11/1/19
Revised on:	10/22/19	Sheet Size / Scale:	22"x34" / 1" = 20'
	Revised per city comments		



**L1 of 2**



**PLANT SCHEDULE**

Botanical Name/Common Name	Qty.	Size	Spacing	Notes
<b>Trees</b>				
Acer circinatum 'Pacific Fire' (Pacific Fire Vine Maple)	1	2" cal.	as shown	B&B, nursery grown, multi-trunk reddish bark
Chamaecyparis nootkatensis 'Green Arrow' (Green Arrow Alaskan Cedar)	4	7-8' ht.	as shown	B&B, nursery grown, full foliage
Ilex crenata 'Sky Pencil' (Sky Pencil Holly)	5	3-4' ht.	as shown	Nursery grown, full foliage.
Parrotia persica 'Vanessa' (Vanessa Parrotia)	2	2" cal.	25' o.c.	B&B, nursery grown, branched @ 5' height, street tree quality
Pseudotsuga menziesii (Douglas Fir)	2	6-7' ht.	30' o.c.	B&B, nursery grown, full foliage, native
Zelkova serrata 'Musashino' (Musashino Zelkova)	4	2" cal.	20' o.c.	B&B, nursery grown, branched @ 5' height, street tree quality
<b>Shrubs</b>				
Abelia x grandiflora 'Little Richard' (Little Richard Abelia)	25	3 gal.	3' o.c.	Nursery grown
Berberis thunbergii 'Concorde' (Concorde Barberry)	18	3 gal.	3.5' o.c.	Nursery grown
Mahonia aquifolium (Oregon Grape)	5	5 gal.	4' o.c.	Nursery grown, native
Mahonia nervosa (Longleaf Mahonia)	33	3 gal.	3' o.c.	Nursery grown, native
Osmanthus heterophyllus 'Goshiki' (Goshiki False Holly)	6	3 gal.	3' o.c.	Nursery grown
Ribes sanguineum (Red Flowering Currant)	15	3 gal.	3.5' o.c.	Nursery grown, native
Symphoricarpos albus (Common Snowberry)	8	3 gal.	4' o.c.	Nursery grown, native
Vaccinium ovatum (Evergreen Huckleberry)	3	5 gal.	3.5' o.c.	Nursery grown, native
<b>Perennials, Grasses, &amp; Ferns</b>				
Carex testacea (New Zealand Sedge)	18	1 gal.	2' o.c.	Nursery grown, trim back in fall
Clematis armandii 'Apple Blossom' (Apple Blossom Clematis)	1	1 gal.	as shown	Nursery grown, attach to trellis
Heuchera americana 'Green Spice' (Green Spice Coral Bells)	4	1 gal.	2' o.c.	Nursery grown
Liriope muscari 'Royal Purple' (Royal Purple Lilyturf)	16	1 gal.	2' o.c.	Nursery grown
Polystichum munitum (Western Sword Fern)	31	1 gal.	3' o.c.	Nursery grown, native
<b>Groundcovers</b>				
Cornus canadensis (Creeping Dogwood)	21	1 gal.	3' o.c.	Nursery grown, native
Gaultheria shallon (Salal)	75	1 gal.	3' o.c.	Nursery grown, native
Geranium x cantabrigiense 'Biokovo' (Biokovo Hardy Geranium)	32	1 gal.	3' o.c.	Nursery grown
Ophiopogon japonicus (Mondo Grass)	354	1 gal.	1.5' o.c.	Nursery grown
<b>Lawn</b>				
Hydroseed Lawn Mix	470 Sf.			Install per manufacturer's specifications

Total Number of Plants = 687  
Total Number of Native Plants = 193

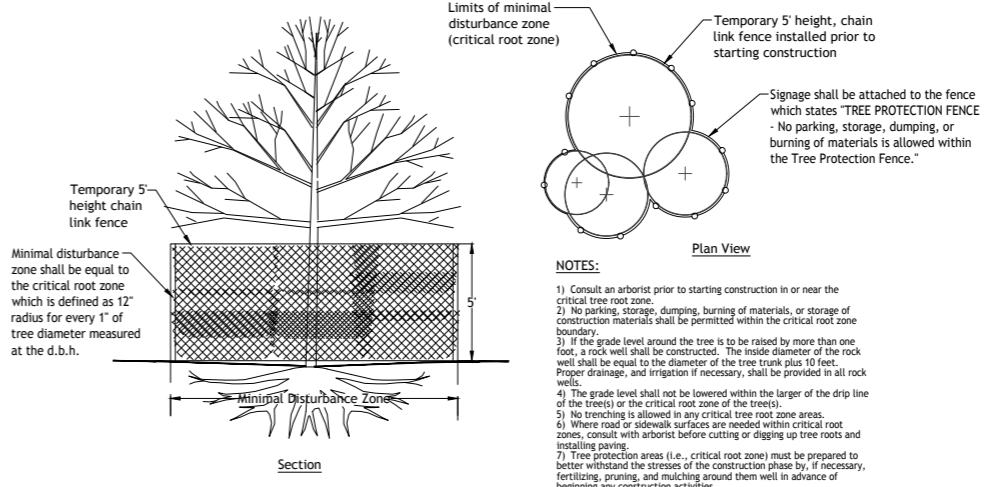
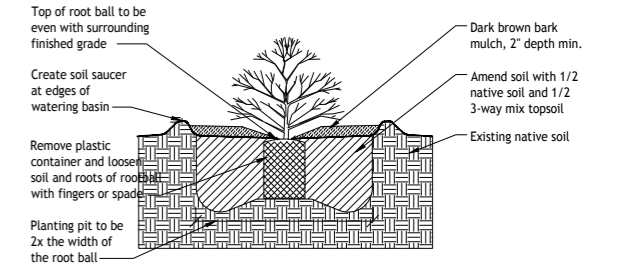
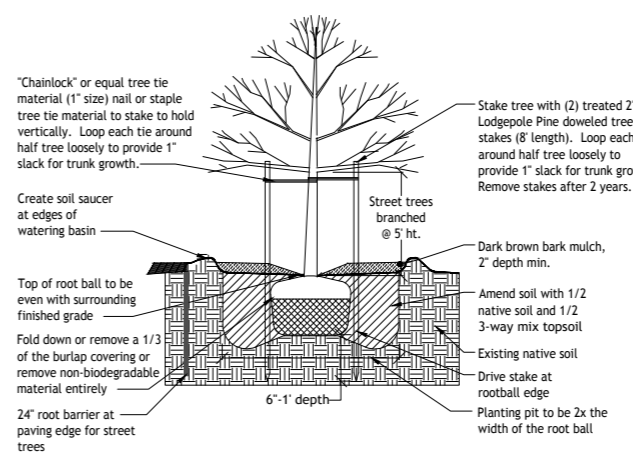
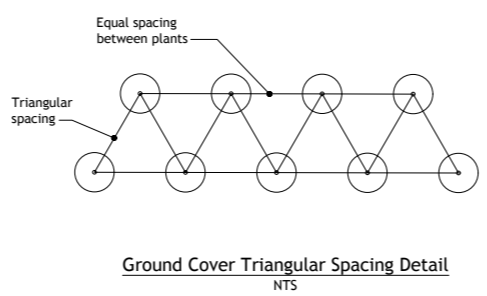
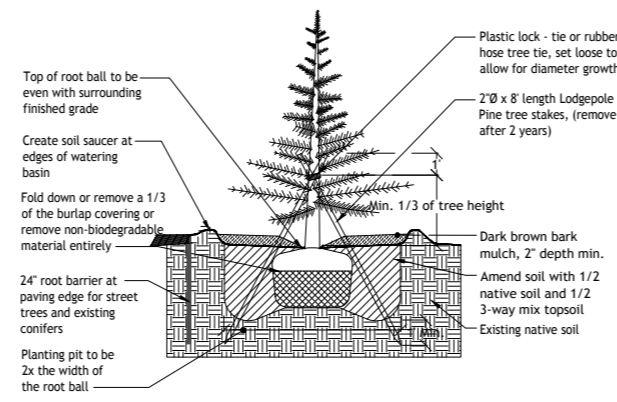
**MATERIALS SCHEDULE**

Item	Description / Manufacturer	Units	Notes
36" Square Picnic Table; Cityview Table / Sitescapes		2 Qty.	Pedestal mount with anchor bolts to concrete, powder coat black finish
8x8' Dumpster Enclosure; Covrit System, Vertical Plankwall PVC, English Walnut 1-Sided Wood Grain, Black Posts / Cityscapes		1 Qty.	Install with fitted post caps, contractor to verify best post mounting options in field
Concrete Walkways and Pads		200 Sf.	Broom finish
3-Way Topsoil Mix for Lawn Areas		9 Cy.	Mix 6" layer into lawn areas to a depth of 8"
3-Way Topsoil Mix for Planting Beds		47 Cy.	Mix 4" layer into new landscape beds to a depth of 8"
Dark Brown Medium Bark Mulch or Wood Chips		24 Cy.	Spread evenly around plants to a depth of 2"

**LANDSCAPE CALCULATIONS:**

**RECREATION/OPEN SPACE**  
Total Open Space Required = 2,400 sf  
Total Open Space Provided (indicated by a dashed line) = 3,080 sf  
10% Usable Open Space Required = 240 sf  
Usable Open Space Provided = 3,080 sf

**TOTAL LANDSCAPE AREA**  
Total Lot Size = 25,840 sf  
Total Landscape Area = 8609 sf  
Landscape Area Required = 25%  
Landscape Area Provided = 33%



- NOTES:**
- 1) Consult an arborist prior to starting construction in or near the critical tree root zone.
  - 2) No parking, storage, dumping, burning of materials, or storage of construction materials shall be permitted within the critical root zone boundary.
  - 3) If the grade level around the tree is to be raised by more than one foot, a rock well shall be constructed. The inside diameter of the rock well shall be equal to the diameter of the tree trunk plus 10 feet. Proper drainage, and irrigation if necessary, shall be provided in all rock wells.
  - 4) The grade level shall not be lowered within the larger of the drip line of the tree(s) or the critical root zone of the tree(s).
  - 5) No trenching is allowed in any critical tree root zone areas.
  - 6) Where road or sidewalk surfaces are needed within critical root zones, consult with arborist before cutting or digging up tree roots and installing paving.
  - 7) Tree protection areas (i.e., critical root zone) must be prepared to better withstand the stresses of the construction phase by, if necessary, fertilizing, pruning, and mulching around them well in advance of beginning any construction activities.
  - 8) Alternative protection methods may be used if accepted by the director to provide equal or greater tree protection.



**Landscape Schedule, Notes & Details**  
**Bonney Lake 4-PLEX**  
8503 Locust Ave E, Bonney Lake, Wa.

Designed by:  
**ARW Landscape Design**  
Amy Ruscho Wolfe, PLA  
7530 23rd St W, University Place, Wa. 98466  
amy@arwlandscapedesign.com, 253-223-1162

Revised on:		Project #:	1907
Revised on:	x	Date:	11/1/19
Revised on:	10/22/19	Revised per city comments	Sheet Size / Scale: 22"x34" / NTS Page 49 of 56

**Attachment 3 (7 Pages)**



**RIGHT ELEVATION**

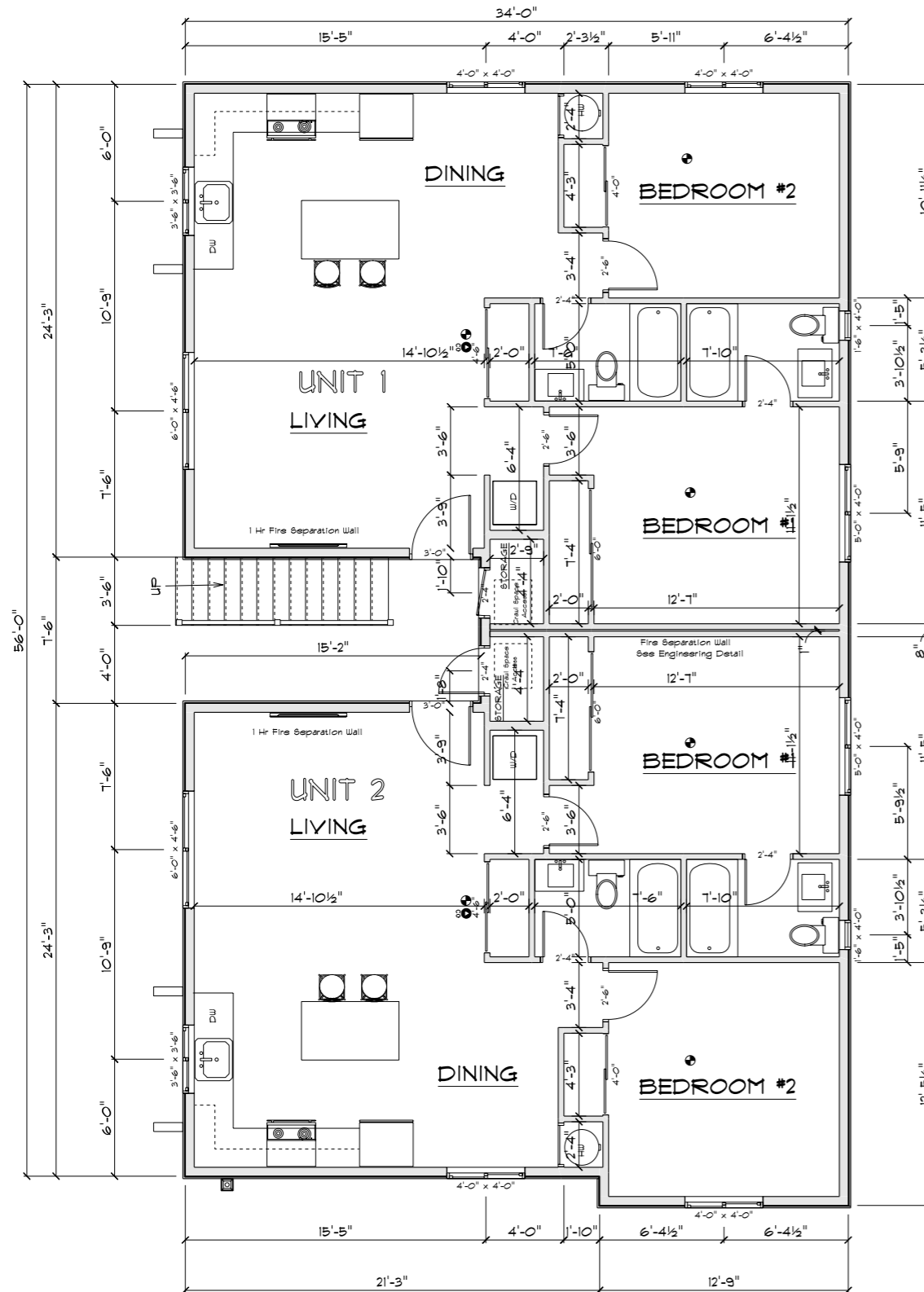


**FRONT ELEVATION**

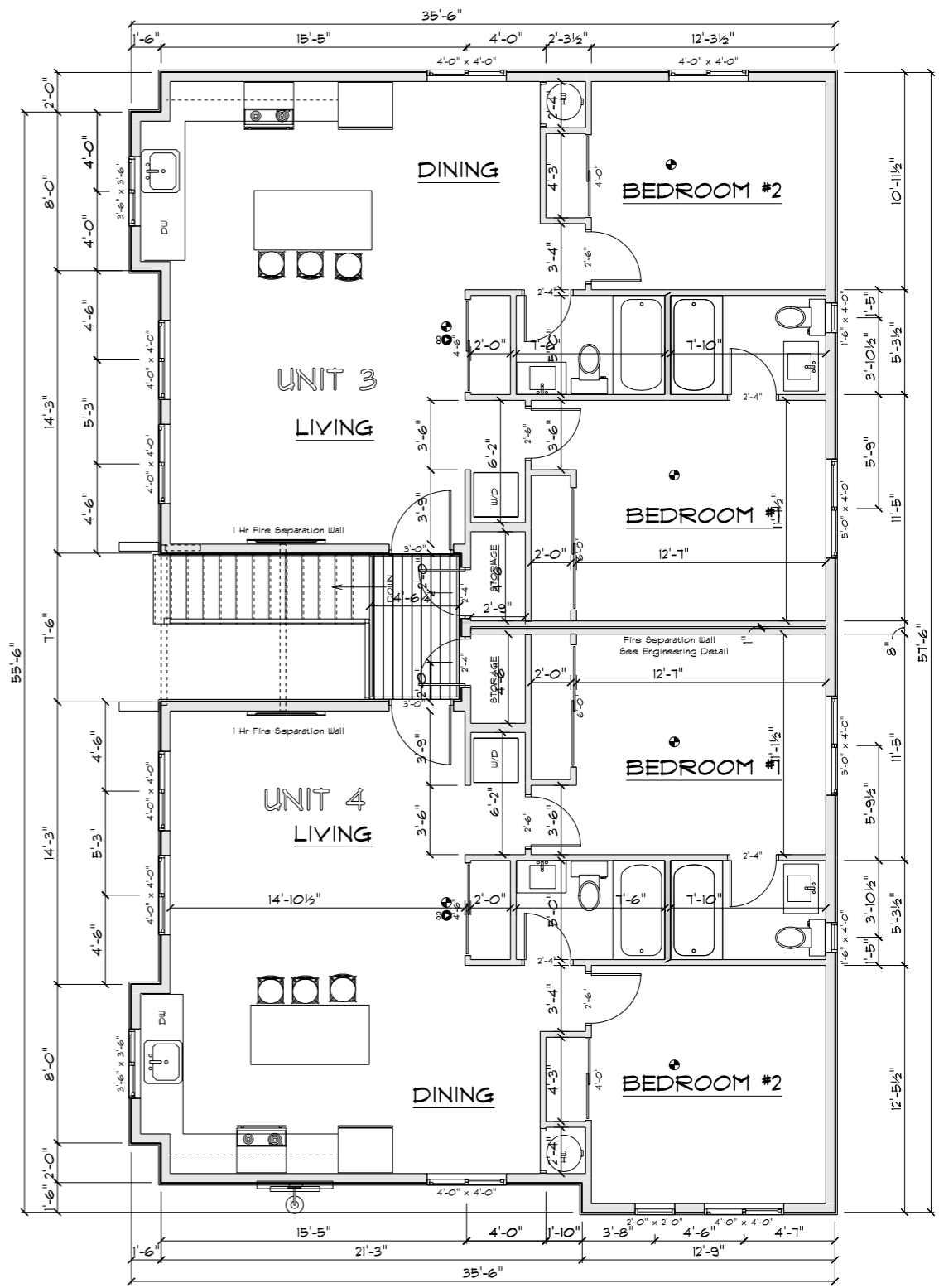


**REAR ELEVATION**

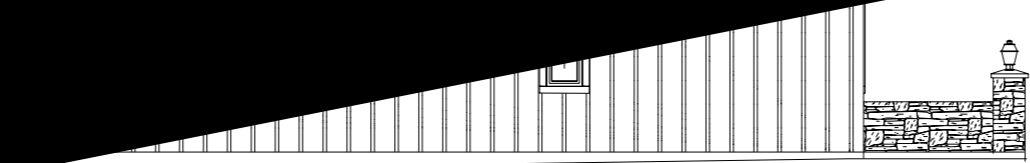




Unit 1 845 Sq Ft Interior  
 Unit 2 864 Sq Ft Interior  
 1809 Sq Ft Lower Level Building



Unit 3 857 Sq Ft Interior  
 Unit 4 876 Sq Ft Interior  
 1790 Sq Ft Upper Level Building



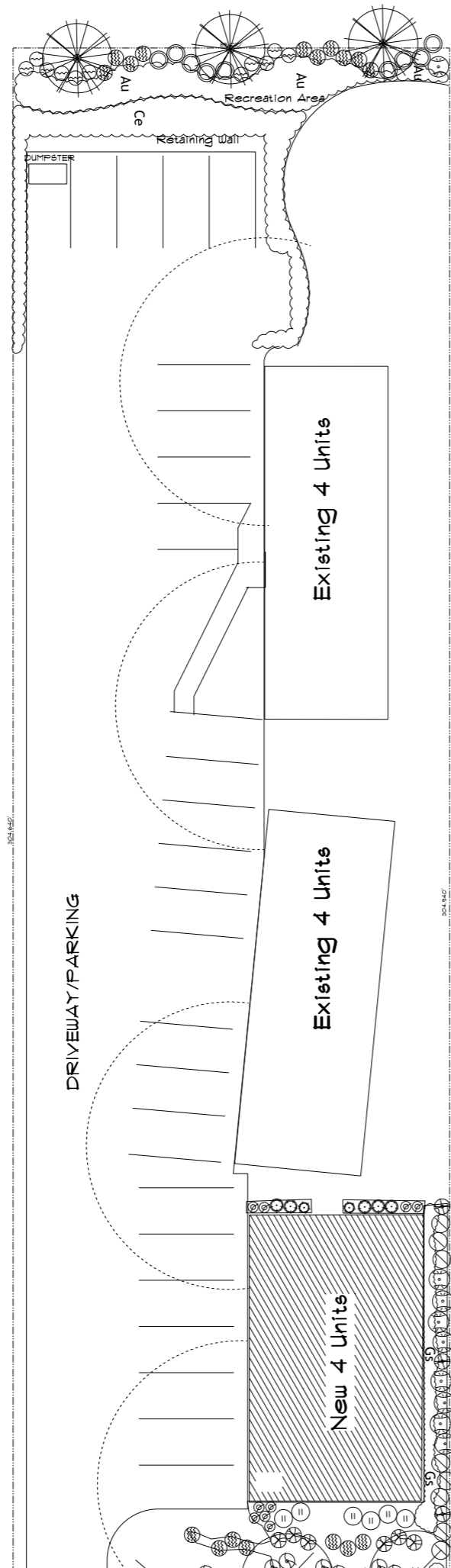
**CROSS SECTION AA**  
SCALE: 1/4" = 1'-0"

(Refer to Engineering Notes & Specifications)

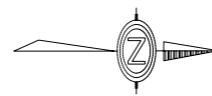
1/4x4 Post Bracket

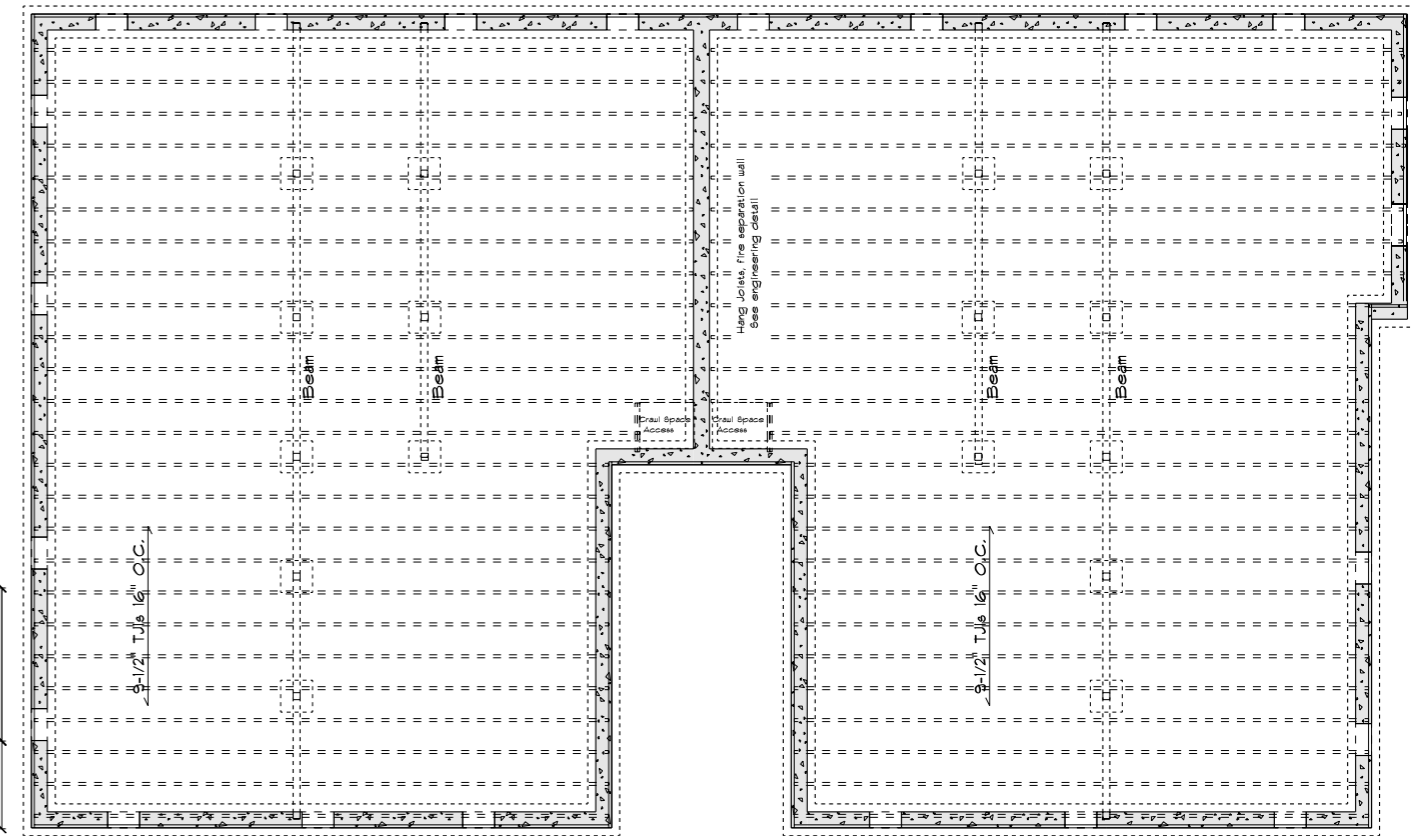
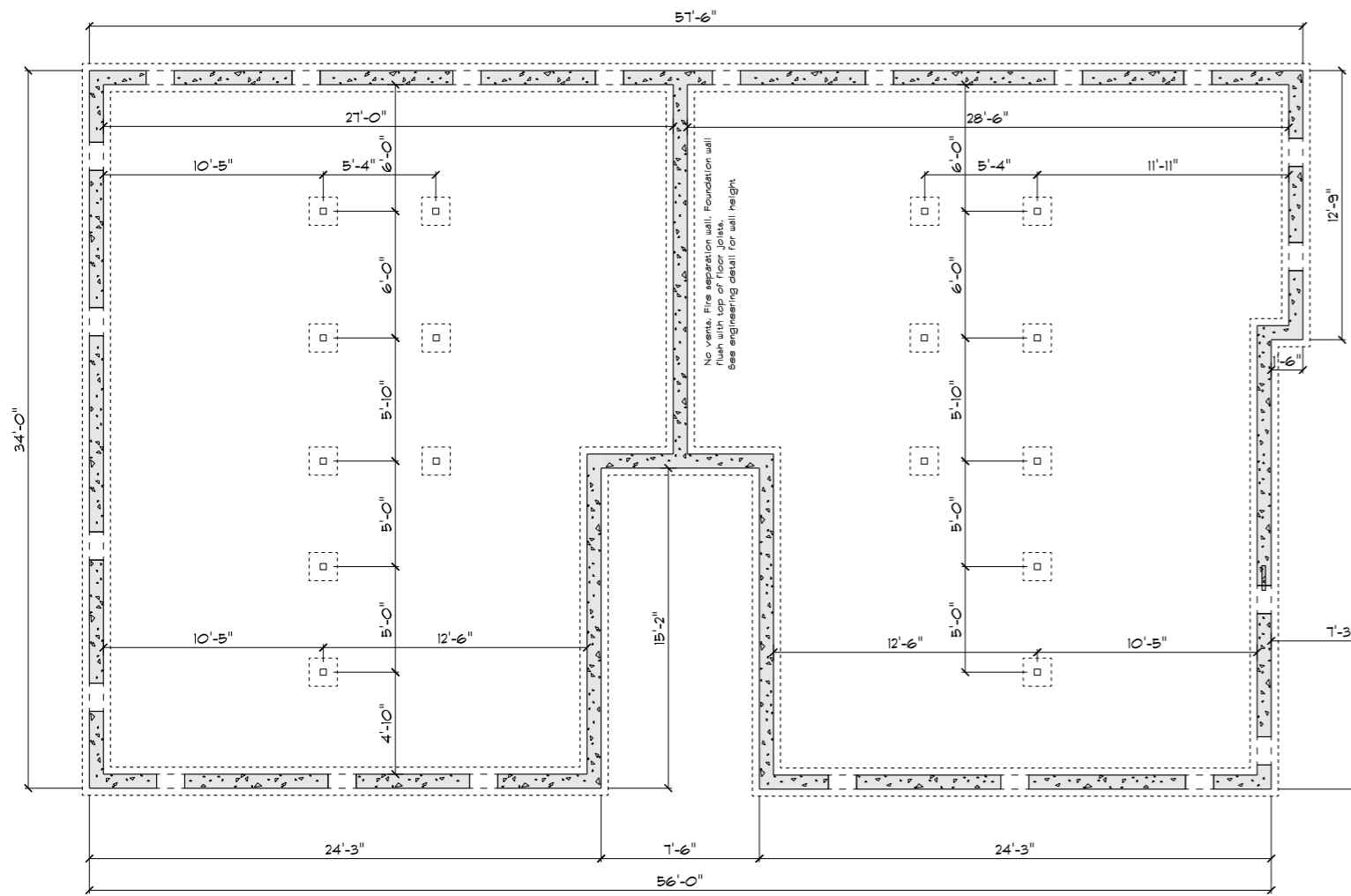
Metal Railing installed per Mfg. Spc.

**PHOTOMETRIC SITE PLAN**  
SCALE: 0.0103" = 1'-0"



PARCEL # 5340000080

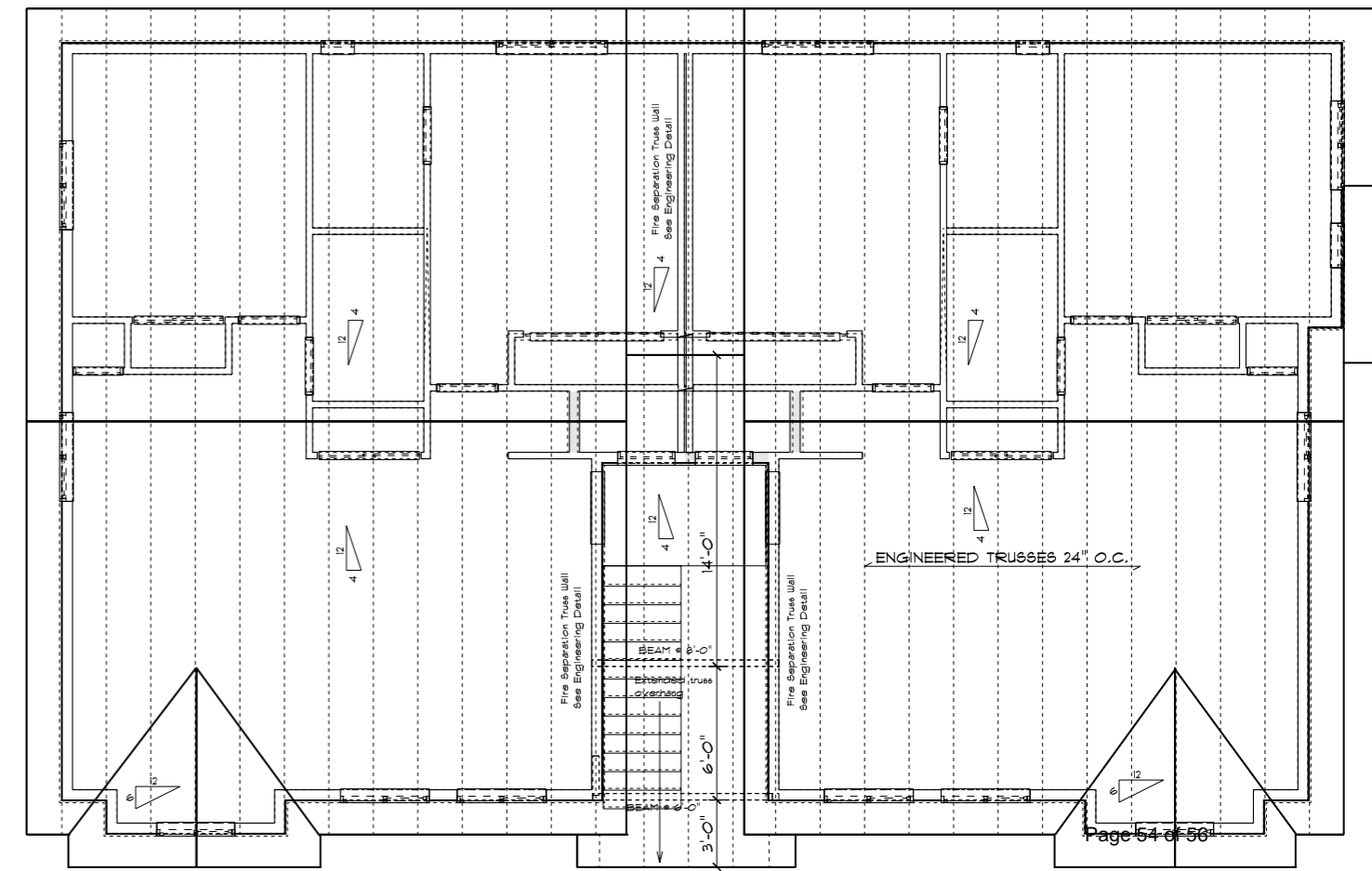
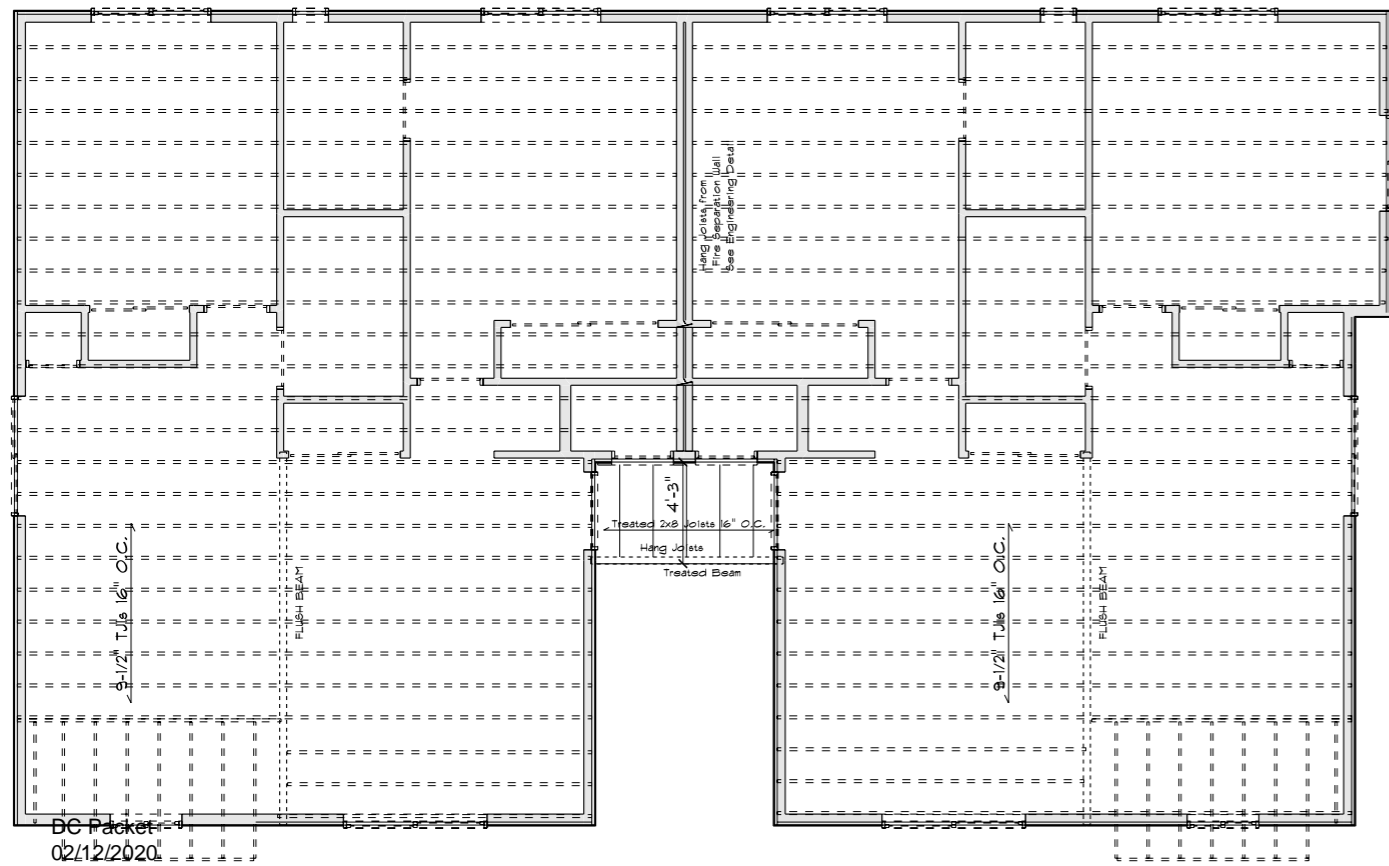


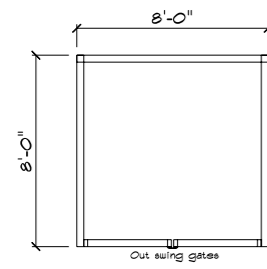


LOWER UNITS FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

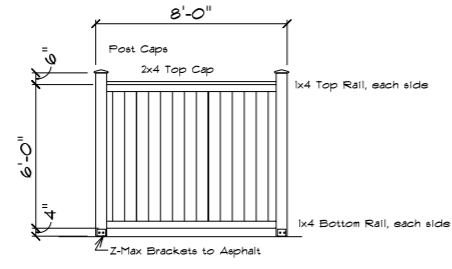
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



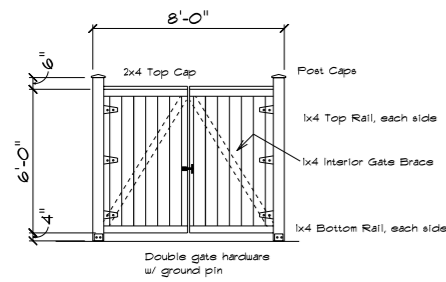


LAYOUT



Treated Lumber  
1x6 Cedar Fence Boards  
Finish: Benjamin Moore AF 110

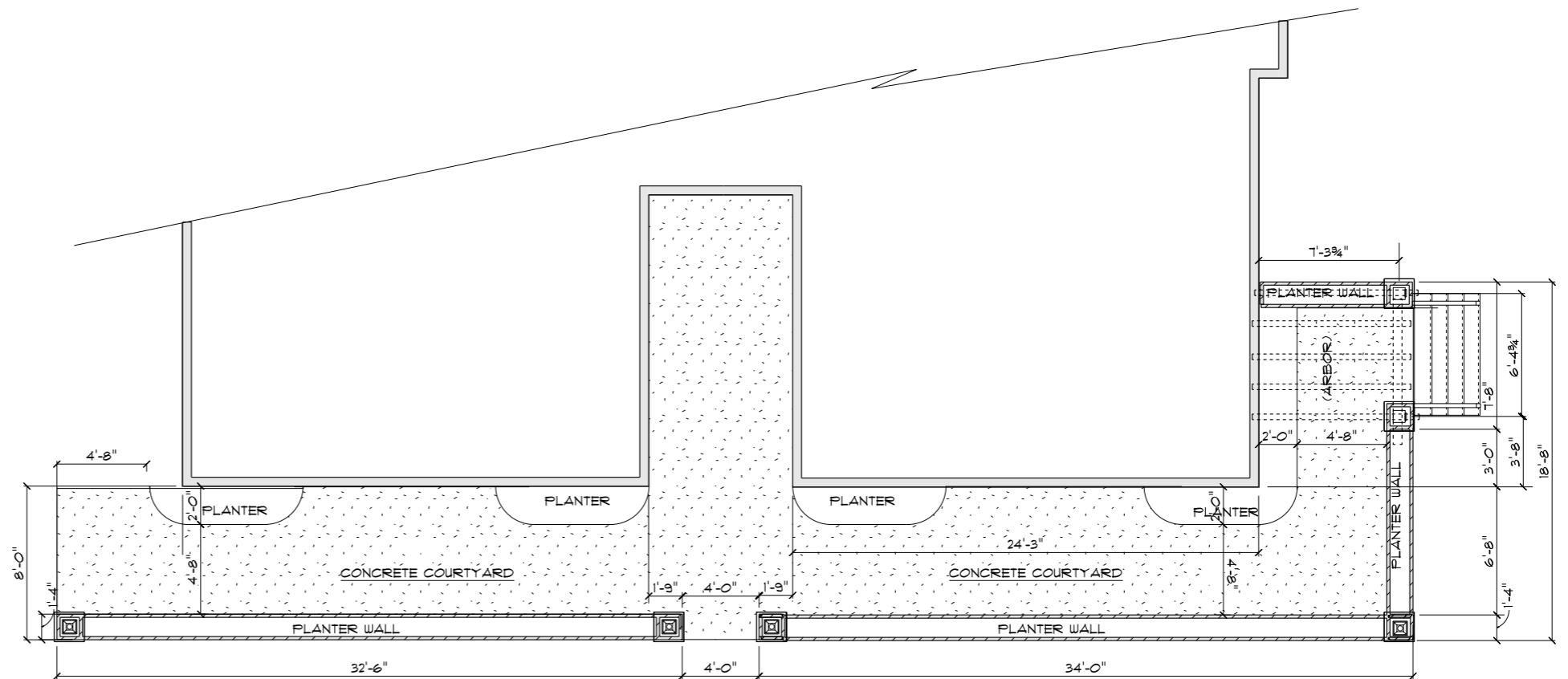
TYPICAL ELEVATION



FRONT GATE ELEVATION

**GARBAGE ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"



**COURTYARD PLAN**

SCALE: 1/4" = 1'-0"



4.2.3 BUILDING ARTICULATION LEFT ELEVATION  
02/12/2020

- a) Repeating and distinctive window patterns
- b) 18 inch vertical building modulation with color change

4.2.3 BUILDING ARTICULATION FRONT ELEVATION

- a) Repeating and distinctive window patterns
- b) 18 inch vertical building modulation with color change
- c) Horizontal modulation 5 ft minimum